

CITY OF  
**ANTIOCH**  
CALIFORNIA

**STAFF REPORT TO THE PLANNING COMMISSION**

**DATE:** Regular Meeting of April 2, 2025

**SUBMITTED BY:** Monet Boyd, Assistant Planner

**APPROVED BY:** Zoe Merideth, Planning Manager

**SUBJECT:** Creekside Vineyards at Sand Creek (DR2024-0010)

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**RECOMMENDED ACTION**

It is recommended that the Planning Commission adopt a resolution approving the Design Review and proposed street names for the Creekside Vineyards at Sand Creek project approving residential architecture, parks, landscaping and street names for the Creekside Vineyards at Sand Creek project site at APN: (057-050-024).

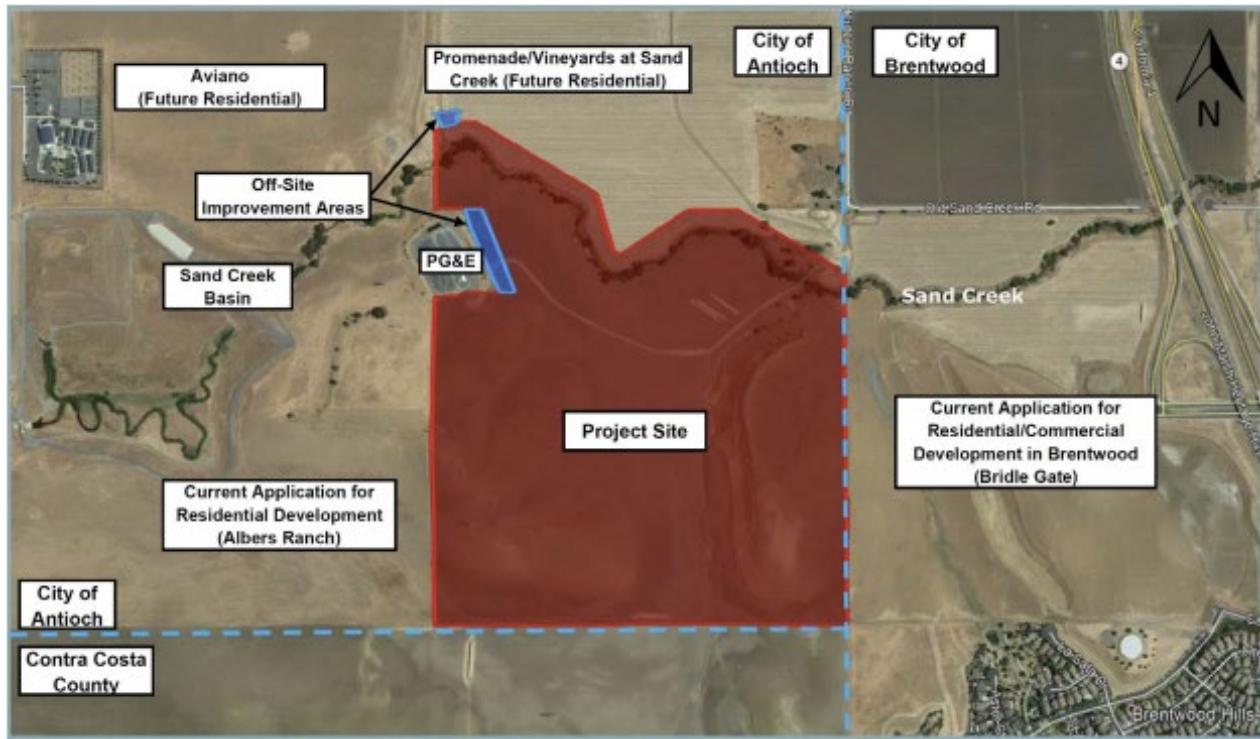
**ENVIRONMENTAL REVIEW**

The Creekside Vineyards at Sand Creek Environmental Impact Report (EIR) was certified on March 23, 2021. The proposed Design Review is consistent with the Certified EIR; therefore, no further environmental review is required.

**BACKGROUND**

In 2021, the City Council approved a General Plan Amendment (2021/51), Planned Development Rezone (PD-19-02), Vesting Tentative Subdivision Map, Design Guidelines, and Resource Management Plan for the Creekside Vineyards at Sand Creek Project (2021/52). These approvals allowed for the development of a 220-unit residential community and associated improvements including parks and open space. The project site is bordered by the City of Antioch/Contra Costa County line to the south and the City of Antioch/City of Brentwood limit to the east and is identified by Assessor's Parcel Number (APN) 057-050-024. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately .38 miles east of the site. The project site is within the Sand Creek Focus Area of the General Plan.

## SITE LOCATION



## ANALYSIS

The applicant is currently requesting Design Review for the proposed street names, project landscaping, architecture and landscaping which are subject to Planning Commission approval. The applicant has proposed two different lot sizes, each featuring distinct architectural designs, heights, and features to create visual interest along the streetscape. The Planned Development guidelines for [Creekside Vineyards at Sand Creek](#), outline the design standards for the community. These guidelines ensure that home designs, parks, and landscaping align with what was previously approved.

The applicant is offering two different lot sizes each with various architectural styles:

- Brooks at Creekside (designed by OAG Architects) - 50' x 90' lots
- Trails at Creekside (designed by Bassanian Lagoni) 55' x 90' lots

The site layout complies with standard 6.9-1 which requires that identical floor plans and exterior colors are not placed side by side. The garage designs are well integrated and do not dominate the front facades meeting standard 6.2-3. The site layout also meets standard 6.9-2, ensuring that homes directly across the street do not share the same floor plan. Additionally, a variety of roof styles such as gable, hipped, and shed roof have been proposed throughout the development meeting standard 6.5-1. The Creekside Vineyards at Sand Creek architectural style is generally in keeping with the vineyard theme. The traditional Californian styles of the "California Vineyard" includes Tuscan, Spanish, and Monterey. The newer Californian styles include the American Farmhouse. The four

aforementioned architectural styles are used proposed for this development complying with standard 6.1.



## **Architectural Styles**

### **Spanish**

The Spanish style features hipped and gable roofs covered in concrete low profile “S-tile” roofing. The exterior walls are finished with stucco, consistent with traditional Spanish architecture. Exterior window shutters enhanced the windows, adding to the architectural character. The main entrance features a covered landing, providing shelter from the weather. Additionally, homes incorporate theme-specific front doors, garage doors, and Mill Lane coach lights, reinforcing the Spanish aesthetic.

### **American Farmhouse**

The American Farmhouse-style homes feature gable and shed roofs covered in concrete flat tile roofing. The exterior walls are primarily stucco, with some plan types incorporating board and batten siding and foam or wood brackets for added architectural detail. Homes in this style include theme-specific front doors, garage doors, and wall lantern coach lights, enhancing the farmhouse aesthetic. Foam shutters provide additional character, while decorative vents on the gables contribute to the overall design.

### **Monterey**

The Monterey-style homes feature gable roofs covered with low profile concrete “S-tile” roofing. The exterior walls are primarily stucco, with some plan types featuring board and batten siding and foam or wood brackets for added architectural detail. Homes in this style include theme-specific front doors, garage doors, and wall lantern coach lights, enhancing the architectural character. Foam shutters provide additional decorative elements, contributing to the traditional Monterey aesthetic. Some of the homes in the Monterey-style include faux vents, masonry brick veneer, and arched soffits at the porch.

### **Tuscan**

The Tuscan-style homes feature concrete “S” tile roofing, reflecting traditional Mediterranean influences. The first-level facade is accented with stone veneer, adding

texture and architectural character. Additional design elements include stucco siding, decorative foam shutters, and trim over the windows.

### **The Brooks at Creekside**

The Brooks at Creekside neighborhood features four distinct architectural styles: Spanish, American Farmhouse, Monterey, and Tuscan. The development offers four different plan types, each incorporating a mix of three of the four architectural styles, ensuring architectural variety throughout the community. The layout and size of each residence vary by plan type, ranging from three to four bedrooms, with an optional additional bedroom available. Many plans offer flexible living spaces, allowing homeowners to customize their homes with features such as offices, additional bathrooms, a suite with a powder room, a formal dining room, retreat room, or various combinations of those options. An additional option is the GenSmart Suite which is short for Generation Smart Suite allowing for a dedicated living space for guests or relatives, all under one roof. The GenSmart Suite can include a bedroom, bath, sitting area, kitchenette, and closet. For floor plans detailing the options, please refer to the project plans Attachment B.

#### **Plan**

Plan 1 complies with Creekside/Vineyards at Sand Creek Guidelines standard 6.3-6 which encourages a “Single-Story Profile” be primarily tucked under the first-floor roofline. This plan is available in Spanish, American Farmhouse, and Monterey architectural styles. Each of these styles meets the requirement of 6.7-7, ensuring that windows are enhanced with shutters. The main entrance of each home is designed with articulated, projecting forms, creating a covered landing that provides shelter from the weather. Additionally, Plan 1 adheres to standard 6.6-5, which requires that developments of three or more homes shall provide a minimum of three distinct different color/material palettes per architectural style, enhancing visual variety within the neighborhood.

#### **Plan 2**

Plan 2 incorporates Spanish, Monterey, and Tuscan architectural styles, each featuring warm tones that complement the design. Architectural elements such as recessed windows and awnings contribute to building articulation, adding depth and dimension to the facade. Plan 2 has two-story homes with the second story not exceeding 84% of the first-floor square footage. This plan complies with standard 6.3-2, ensuring that architectural elements are customized to match the specific style.

#### **Plan 3**

Plan 3 features Spanish, Monterey, and Tuscan architectural styles, with multi-form roofs that incorporated gabled, hipped, and shed roof combinations to create variety complying with standard 6.5-1. Windows in this plan are enhanced with shutters that are selected to complement the overall color scheme, ensuring a cohesive and well-balanced design.

#### **Plan 4**

Plan 4 incorporates Spanish, American Farmhouse, and Monterey architectural styles. Windows in this plan are enhanced with shutters that are selected to complement the overall color scheme, ensuring a cohesive and well-balanced design. The colors of the

window shutters match the front door of the homes aligning with standard 6.6-3. The homes create visual interest with variations in ridgeline height and alignment complying with standard 6.5-3.

A summary of the plans is shown in the following table:

Home	Size (s.f.)	Bedroom s	Baths	Garage	Stories
Plan 1	2,395	3, with option for 4	2 with option for 3	2-car garage	2
Plan 2	2,569	4, with option for 5	3	2-car garage	2
Plan 3	2,842	4, with option for 5	3.5	2-car garage	2
Plan 4	3,140	4, with option 5	3.5	2-car garage	2

### **Trails at Creekside**

The Trails at Creekside lots are 55' x 90' and feature Spanish, Monterey, American Farmhouse, and Tuscan architecture styles. The Trails at Creekside have the option to add enhancements such as a super shower, spa shower, covered outdoor living room, and GenSmart Suite Option. Each architecture style is distinguished by unique details, materials, and color palettes. Architectural themes include specific garage door designs, window mullions, shutters, and trim profiles, ensuring that every home reflects its intended style while maintaining a cohesive streetscape.

#### **Plan 1**

Plan 1 offers Spanish, American Farmhouse, and Tuscan architectural styles. Homes within this plan feature a semi-enclosed front porch and include at least three different colors per home meeting standard 6.6-5. To emphasize the home's architectural presence, garages are setback, allowing the main façade to be the focal point complying with standard 6.8-2. The ridge lines vary to create visual interest, and the exterior window shutters of two homes match the front door, reinforcing stylistic harmony. Roof styles also vary between architectural styles to further distinguish each home.

#### **Plan 2**

Plan 2 incorporates Spanish, Monterey, and American Farmhouse architectural styles. Homes in this plan feature an open front porch with three columns, providing a welcoming entryway. Awnings extend over the porch, offering shade and additional architectural interest aligning with standard 6.7-2. Larger windows characterize this plan type, enhancing natural light meeting standard 6.7-3. Additional decorative elements include

decorative vents, horizontal siding, and decorative clay pipes, each tailored to complement the respective architectural style.

### Plan 3

Plan 3 includes Spanish, Monterey, and Tuscan architectural styles. Homes in this plan feature a semi-enclosed porch, with shutters that match the front door to create a cohesive design. Variations in ridgeline height and alignment add distinctiveness to each home style. Each home is painted with three complementary colors, ensuring visual diversity while maintaining harmony within the neighborhood. Architectural details such as decorative shutters, decorative clay pipes, window trim, stone veneer, and brick veneer further enhance the authenticity of each architectural style meeting standard 6.6-6.

The following table summarizes the plan types:

Home	Size (s.f.)	Bedroom s	Baths	Garage	Stories
Plan 1	3238	4	3	2	2
Plan 2	3477	5	3.5	2	2
Plan 3	3684	5	4.5	2	2

### Street Names

The 2021 project approvals included a condition of approval requiring that the proposed street names be approved by the Planning Commission before the final map is recorded. The proposed street names underwent review and received approval from relevant agencies, including the Contra Costa County Fire Protection District and the Antioch Police Department, as per standard procedure. Approval of the street names is included in the draft conditions of approval provided in Attachment A, Exhibit A.

### Parks

The project approvals included the adoption of project-specific design guidelines, which outline architectural development standards and landscaping guidelines for parks and open spaces. The applicant is currently proposing the following parks, in conformance with the approved Vesting Tentative Map:

- Private Park (Parcel B) – 0.41 acres
- Community Neighborhood Park (Parcel C) – 2.85 acres
- Private Park (Parcel G) – 0.17 acres
- Private Park (Parcel J) – 0.39 acres

The design and layout of the parks and open spaces are consistent with the approved guidelines, creating opportunities for trail connections and open space enjoyment. All parks will be maintained by a developer-established Homeowners Association (HOA).

- Parcel B Park provides access to the community pool, spa, lounge chairs, and tables and chairs for community gatherings meeting standard 10.0-2.
- Parcel C, the Community Neighborhood Park, features a flexible open lawn area, benches, picnic tables, a BBQ grill, and a playground with shaded areas meeting standard 10.0-3.
- Parcel G and Parcel J are pocket parks, incorporating benches, decorative boulders, a dry creek bed, and non-irrigated hydroseed meeting standard 10.0-1.
- The trail system consists of 12-foot-wide concrete pathways, ensuring accessibility and connectivity throughout the community meeting standard 10.0-8.

The park plans and designs will also be reviewed by the Parks and Recreation Commission. Resolution 2021-52 includes a condition of approval that states that the park designs shall be approved by the Parks and Recreation Commission and/or Planning Commission, in conformance with Antioch Code Article 10, Section 9-4.1001 through 1014.

### **Landscaping**

The previous approvals for Creekside Vineyards at Sand Creek included project-specific landscaping guidelines. The proposed plant palette meets standard 7.0-1 by providing drought tolerant materials with various heights, textures, and colors. The proposed locations for trees include community entry points and a community amenity area meeting standard 7.0-3. The applicant is proposing a diverse mix of trees throughout the development, including:

- Red Sunset Maple (*Acer rubrum ‘Red Sunset’*)
- Italian Cypress (*Cupressus sempervirens*)
- Tuscarora Crape Myrtle (*Lagerstroemia indica ‘Tuscarora’*)
- Swan Hill Olive (*Olea europaea ‘Swan Hill’*)
- Chinese Pistache (*Pistacia chinensis*)
- Columbia Sycamore (*Platanus occidentalis ‘Columbia’*)
- Krauter Vesuvius Plum (*Prunus cerasifera ‘Krauter Vesuvius’*)
- New Bradford Pear (*Pyrus calleryana ‘New Bradford’*)
- Scarlet Oak (*Quercus coccinea*)

The proposed trees consist of native and adaptive species, ensuring drought tolerance and sustainability. Trees and plants will be strategically placed along both private and public streets as well as within the parks to provide shade and aesthetic enhancement aligning with standard 7.0-8.

The project will also include numerous plants to beautify the project:

- Dwarf Abella (*Abelia Grandiflora*)
- Aloe (*Aloe Vera*)
- Manzanita (*Arctostaphylos 'Dr.Hurd'*)
- California Sagebrush (*Artemisia 'Powis Castle'*)
- Magelian Barberry (*Berberis Buxifolia*)
- Berkeley Sedge (*Carex Divulsa*)
- Wild Lilac (*Ceanothus "Concha"*)
- White Rockrose (*Cistus Hybridus*)
- Fortnight Lily (*Dietes Iridiodes*)
- Day Lily (*Hemerocallis Lilioasphodelus*)
- French Lavendar (*Lavandula Dentata*)
- Pink Muhly Grass (*Muhlenbergia Capillaris*)
- Myrtle (*Myrtus Communis*)
- Russian Sage (*Perovskia Atriplicifolia*)
- Jerusalem Sage (*Phlomis Fruticosa*)

#### Walls and Fences

A sound wall with veneer pilasters will be installed along the rear of all residential lots and the sides of corner lots fronting Hillcrest Avenue. The decorative stone veneer pilasters will be spaced at regular intervals ranging from 8 to 25 feet meeting resolution 2021-52 project specific condition 14. In addition to the sound wall, the subdivision will feature good neighbor fencing and good neighbor fencing with concrete footing. This fencing consists of a wood fence with top and bottom rails, supported by 4x4 posts set in concrete footings in designated areas. Complying with standard 9.0-5 clear-view metal fencing will be installed along open spaces, incorporating metal fencing with pilasters to maintain visibility while providing a boundary. Fulfilling the project specific condition 15 from resolution 2021-52 by proposing wrought iron fencing around the stormwater detention basin, Parcel 'D'.

#### **ATTACHMENTS**

- A. Resolution
  - Exhibit A: Conditions of Approval
- B. Project Plans
- C. Project Description

**ATTACHMENT "A"**

**PLANNING COMMISSION  
RESOLUTION NO. 2025 - XX**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH  
APPROVING THE DESIGN REVIEW APPLICATION FOR THE RESIDENTIAL  
ARCHITECTURE, PARKS, LANDSCAPING AND STREET NAMES AT THE  
CREEKSIDE VINEYARDS AT SAND CREEK (DR2024-0010) (APN: 057-050-024)**

**WHEREAS**, the City of Antioch ("City") received an application request for Design Review (DR2024-0010) from Tri Pointe Homes for the residential project architecture, parks, landscaping and street names for the Creekside Vineyards at Sand Creek project (DR2024-0010) (APN: 057-050-024);

**WHEREAS**, on March 23, 2021, the City Council adopted resolution 2021/50 certifying the Final Environmental Impact Report, based on findings of fact and adopting a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program;

**WHEREAS**, on March 23, 2021, the City Council adopted resolution 2021/5 approving of the General Plan Amendment for the Creekside Vineyards at Sand Creek Project;

**WHEREAS**, on March 23, 2021, the City Council introduced and adopted an ordinance to rezone the 58.9-acre Creekside Vineyards at Sand Creek Project from Study Zone to Planned Development District (PD-19-02), and subsequently passed and adopted the ordinance at its meeting of April 13, 2021;

**WHEREAS**, on March 23, 2021, the City Council adopted resolution 2021/52 approving of the Vesting Tentative Subdivision Map, Design Review, and Resource Management Plan for the Creekside Vineyards at Sand Creek Project;

**WHEREAS**, on January 25, 2022, the City Council adopted resolution 2022/14 approving alternative interim right-of-way improvements for the Creekside Vineyards at Sand Creek project.

**WHEREAS**, on April 2, 2025, the Planning Commission duly held a hearing on the matter, and received and considered evidence, both oral and documentary; and

**WHEREAS**, the Planning Commission considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Antioch does hereby APPROVE the Design Review application (DR2024-0010) from Tri Pointe Homes for the project architecture, parks, and landscaping for the project architecture, parks, and landscaping and street names for the Creekside Vineyards at Sand Creek subject to Exhibit A Conditions of Approval.

**PLANNING COMMISSION**

**RESOLUTION NO. 2025-XX**

April 2, 2025

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**I HEREBY CERTIFY** that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 2nd day of April 2025, by the following vote:

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

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**David A. Storer, AICP**  
**Secretary to the Planning Commission**

**EXHIBIT A: CONDITIONS OF APPROVAL**  
**CREEKSIDE VINEYARDS AT SAND CREEK**

- 1. Project Approval.** This Design Review approval is for Creekside Vineyards at Sand Creek located at 0 Sand Creek Rd. (APN:057-050-024), as substantially shown and described on the project plans dated December 12, 2024, as presented to the Planning Commission on April 2, 2025 ("Approval Date"). For any condition herein that requires preparation of a final plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City of Antioch ("City").
- 2. Project Approval Expiration.** This approval expires on April 2, 2027, or at an alternate time specified as a condition of approval, unless a building permit has been issued and construction diligently pursued. All approval extensions shall be processed as stated in the Antioch Municipal Code.
- 3. Appeals.** Pursuant to Antioch Municipal Code § 9-5.2509, any decision made by the Planning Commission which would otherwise constitute final approval or denial may be appealed to the City Council. Such appeal shall be in writing and shall be filed with the City Clerk within five (5) working days after the decision. All appeals to the City Council from the Planning Commission shall be accompanied by a filing fee established by a resolution of the City Council.
- 4. Requirement for Building Permit.** Approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction or demolition of an existing structure. An appropriate permit issued by the Community Development Department must be obtained before constructing, enlarging, moving, converting, or demolishing any building or structure within the City.
- 5. Planned Development Modifications to Approved Plans.** The project shall be constructed as approved and with any additional changes required pursuant to the Zoning Administrator or Planning Commission Conditions of Approval. Planning staff may approve minor modifications in the project design, but not the permitted land uses. A change requiring discretionary approval and any other changes deemed appropriate by the Planning staff per Antioch Municipal Code Section 9-5.2311 shall require further Planning Commission approval through the discretionary review process.
- 6. Hold Harmless Agreement/Indemnification.** The applicant (including any agent thereof) shall defend, with counsel of City's choosing and at Applicant's own cost, expense and risk, any and all claims, suits, actions or other proceedings of every kind that may be brought or instituted against City or its officials, officers, employees, volunteers and agents to attack, set aside, void, or annul the City's approval concerning this application. Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or its officials, officers, employees, volunteers and agents as part of any such claim, suit, action or other proceeding concerning the City's approval of this application. Applicant shall also

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reimburse City for the cost of any settlement paid by City or its officials, officers, employees, agents or volunteers as part of any such claim, suit, action or other proceeding concerning the City's approval of this application. Such reimbursement shall include payment for City's attorneys' fees and costs, including expert witness fees. Applicant shall reimburse City and its officials, officers, employees, agents, and/or volunteers, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Applicant's obligation to indemnify shall survive the expiration of this Approval.

7. **Final Approval.** A final and unchallenged approval of this project supersedes any previous approvals that have been granted for this site.
8. **Compliance Matrix.** With the submittal of all grading plans, improvement plans, and building permit plans, the applicant shall submit to the Community Development Department a Conditions of Approval and Mitigation Measures compliance matrix that lists: each Condition of Approval and Mitigation Measure, the City division responsible for review, and how the applicant meets the Condition of Approval or Mitigation Measure. The applicant shall update the compliance matrix and provide it with each submittal.
9. **Mitigation Monitoring and Reporting Program.** The applicant shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program for the Creekside Vineyards at Sand Creek project.

## **FEES**

10. **City Fees.** The applicant shall pay all City and other related fees applicable to the property, as may be modified by the conditions herein. Fees shall be based on the current fee structure in effect at the time the relevant permits are secured and shall be paid before issuance of said permit. Notice shall be taken specifically of plan check, engineering, fire, and inspection fees. The project applicant shall also reimburse the City for direct costs of Planning, Building and Engineering Division plan check and inspection, as mutually agreed between the City and applicant.

No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, balances, and reimbursements that are outstanding and owed to the City.

11. **Pass-Through Fees.** The applicant shall pay all applicable pass-through fees. Fees include but are not limited to:
  - a. East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.
  - b. Contra Costa County Fire Protection District Fire Development Fee in effect at the time of building permit issuance.

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- c. Contra Costa County Map Maintenance Fee in effect at the time of recordation of the final map(s).
  - d. Contra Costa County Flood Control District Drainage Area Fee.
  - e. School Impact Fees.
  - f. Delta Diablo Sanitation Sewer Fees.
  - g. Contra Costa Water District Fees.

### **PUBLIC WORKS' STANDARD CONDITIONS**

- 12. Retaining Walls**
  - a. **Public Right of Way.** Retaining walls shall not be constructed in the public right-of-way or other City maintained parcels, unless otherwise approved by the City Engineer.
  - b. **Materials.** All retaining walls shall be of concrete masonry unit construction.
  - c. **Height.** All retaining walls shall be reduced in height to the maximum extent practicable and the walls shall meet the height requirements in the frontage setback and sight distance triangles as required by the City Engineer.
  - d. **Slope.** The 2:1 maximum slope above all retaining walls shall be landscaped with trees, ground cover, grass or other erosion control vegetation.
- 13. Fences.** All perimeter fences shall be located at the top of slope or along the existing property parcel line as shown on the approved landscape plans as approved by the City Engineer.
  - a. In cases where a fence is to be built in conjunction with a retaining wall, and the wall face is exposed to a side street, the fence shall be set back a minimum of three feet (3') behind the retaining wall per Antioch Municipal Code § 9-5.1603, or as otherwise approved by the City Engineer in writing.
  - b. All fencing adjacent to open space (trails and basins) shall be located at the top of slope and be constructed of wrought iron, tubular steel, or other materials as approved by the City Engineer in writing at the time of improvement plan approval.
  - c. In projects with homes on individual lots, side and rear yard fencing shall be provided for each lot prior to issuance of the occupancy permit.

### **AT BUILDING PERMIT SUBMITTAL**

- 14. Final Landscape Plans.** The applicant shall submit final landscape plans that identify specific plant materials to be constructed, including all trees, shrubs and groundcover, and landscape features. At the time of building permit submittal, applicant shall provide for all plan materials both common and botanical names, sizes, and quantities, that are in substantial conformance with the Preliminary Landscape Plan. Applicant shall coordinate with the Public Works Department on approved plants to be installed in the public right of way.

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- 15. Water Efficient Landscape Ordinance.** Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S, The State Model Water Efficient Landscape Ordinance (MWELO). The applicant shall demonstrate compliance with the applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.
  - 16. Property Drainage.** All buildings on the site shall contain rain gutters and downspouts that catch rainwater from the roof and direct water away from the foundation and into an acceptable drainage system as approved by the City Engineer.

### **DURING CONSTRUCTION**

- 17. Landscape Installation and Maintenance.** Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, and/or otherwise maintained, as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans. All trees shall be a minimum 24" box size and all shrubs shall be a minimum 5-gallon size.

### **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT**

- 18. Site Landscaping.** All landscaping within the project site, including on all slopes, medians, C.3 drainage basins, retaining walls, bioretention basins, common areas, open space and park landscape areas, and any other areas that are to be landscaped, shall be installed prior to issuance of final certificate of occupancy.
- 19. Common Area Trash Receptacles.** Trash receptacles located in common areas, such as plazas, eating areas, walkways, club houses, or playgrounds, shall be the City Park three-sort type. All common area trash receptacles shall be in place prior to issuance of the certificate of occupancy for the area where the receptacle is located.

### **PROJECT SPECIFIC CONDITIONS**

- 20. STREET NAMES.** The street names in the development shall be as follows and as shown on the street name exhibit received on January 10, 2025. Changes to street names require Planning Commission review and approval.
  - Fallen Leaf Lane (street A)
  - Creek Bridge Drive (main entrance, street B)
  - Moss Branch Lane (street C)
  - Meadow Barley Lane (street D)

**EXHIBIT A:**  
**CONDITIONS OF APPROVAL**  
**Creekside Vineyards at Sand Creek**  
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- Wildrye Lane (street E)
  - Brome Lane (street F)
  - Cairns Lane (street G)
  - Saltgrass Lane (street H)
  - Tanager Lane (street I)
  - Pebblepath Lane (street J)

**21. PREVIOUS APPROVAL COMPLIANCE.** This development shall comply with all previous project conditions of approval and mitigation measures adopted for the Creekside Vineyards at Sand Creek Project, including those found in the following adopted City Council resolutions:

- Resolution certifying the Environmental Impact Report for the Creekside Vineyards Project as adequate for addressing the environmental impacts of the proposed project and adopting California environmental quality act findings, mitigation measures and a mitigation monitoring and reporting program (2021/50)
- Resolution approving the General Plan Amendment for the Creekside/Vineyards at Sand Creek Project (2021/51)
- Ordinance rezoning the property to Planned Development District (PD-19-02) (Ordinance 2193-C-S);
- Resolution approving of the Vesting Tentative Subdivision Map, Design Review, and Resource Management Plan for the Creekside Vineyards at Sand Creek Project (2021/52)
- Resolution approving alternative interim right-of-way improvements for the Creekside Vineyards at Sand Creek Project (2022/14)

# CREEKSIDER AT SAND CREEK

## ANTIOCH, CALIFORNIA

DECEMBER 6, 2024

### BROOKS AND TRAILS AT CREEKSIDER

- 1 OF 5 DEVELOPMENT PLAN
- 2 OF 2 DEVELOPMENT PLAN
- 3 OF 5 DEVELOPMENT PLAN
- 4 OF 5 DEVELOPMENT PLAN
- 5 OF 6 DEVELOPMENT PLAN
- 1 OF 6 VESTING TENTATIVE MAP AND DIMENSION PLAN
- 2 OF 6 VESTING TENTATIVE MAP AND LOT AREA PLAN
- 3 OF 6 VESTING TENTATIVE MAP AND CONCEPTUAL GRADING PLAN
- 4 OF 6 VESTING TENTATIVE MAP AND CONCEPTUAL UTILITY PLAN
- 5 OF 6 VESTING TENTATIVE MAP AND PARKING PLAN
- 6 OF 6 VESTING TENTATIVE MAP AND LARGE LOT PLAN FINAL MAP
- L1 OVERALL SITE PLAN
- L2 TREE MASTER PLAN
- L3 FENCE AND WALL MASTER PLAN
- L4 IRRIGATION MASTER PLAN
- L5 COMMUNITY ENTRY ENLARGEMENT
- L6 COMMUNITY NEIGHBORHOOD PARK ENLARGEMENT
- L7 COMMUNITY POOL ENLARGEMENT
- L8 PRIVATE POCKET PARK ENLARGEMENTS
- L9 TYPICAL FRONT END ENLARGEMENTS
- L10 TYPICAL FRONT YARD ENLARGEMENTS
- L11 PLANTING PALETTE AND CONCEPT IMAGERY

### BROOKS AT CREEKSIDER

LOT SIZE: 50x90  
OAG ARCHITECTS INC.

- BROOKS COVER SHEET
- TP-1 TYP. PLOTTING PLAN
- A-1 PLAN 1 - FRONT ELEVATIONS
- A-1 PLAN 1 - FRONT ELEVATIONS
- A-2 PLAN 1 - FLOOR PLAN
- A-3 PLAN 1 - ELEVATION (SPANISH)
- A-4 PLAN 1 - ELEVATION (AMERICAN FARMHOUSE)
- A-5 PLAN 1 - ELEVATION (MONTEREY)
- A-6 PLAN 2 - FRONT ELEVATIONS
- A-7 PLAN 2 - FLOOR PLAN
- A-8 PLAN 2 - ELEVATION (SPANISH)
- A-9 PLAN 2 - ELEVATION (MONTEREY)
- A-10 PLAN 2 - ELEVATION (TUSCAN)
- A-11 PLAN 3 - FRONT ELEVATIONS
- A-12 PLAN 3 - FLOOR PLAN
- A-13 PLAN 3 - ELEVATION (SPANISH)
- A-14 PLAN 3 - ELEVATION (MONTEREY)
- A-15 PLAN 3 - ELEVATION (TUSCAN)
- A-16 PLAN 4 - FRONT ELEVATIONS
- A-17 PLAN 4 - FLOOR PLAN
- A-18 PLAN 4 - ELEVATION (SPANISH)
- A-19 PLAN 4 - ELEVATION (AMERICAN FARMHOUSE)
- A-20 PLAN 4 - ELEVATION (MONTEREY)
- D-1 WINDOW AND GABLE END DETAILS
- D-2 DOOR DETAILS
- D-3 GARAGE AND ARCH. DETAILS
- D-4 COACH LIGHT AND GARAGE DOOR SPECS.

### TRAILS AT CREEKSIDER

LOT SIZE: 55x90  
BASSENIAN LAGONI

- TRAILS COVER SHEET
- A1.01 PLAN 1 - FRONT ELEVATIONS
- A1.02 PLAN 1A - FLOOR PLAN (SPANISH)
- A1.03 PLAN 1 - OPTIONS
- A1.04 PLAN 1A - ELEVATION (SPANISH)
- A1.05 PLAN 1B - FLOOR PLAN (AMERICAN FARMHOUSE)
- A1.06 PLAN 1B - ELEVATION (AMERICAN FARMHOUSE)
- A1.07 PLAN 1D - FLOOR PLAN (TUSCAN)
- A1.08 PLAN 1D - ELEVATION (TUSCAN)
- A1.09 PLAN 1 - SECTIONS
- A2.01 PLAN 2 - FRONT ELEVATIONS
- A2.02 PLAN 2A - FLOOR PLAN (SPANISH)
- A2.03 PLAN 2 - OPTIONS
- A2.04 PLAN 2A - ELEVATION (SPANISH)
- A2.05 PLAN 2B - FLOOR PLAN (AMERICAN FARMHOUSE)
- A2.06 PLAN 2B - ELEVATIONS (AMERICAN FARMHOUSE)
- A2.07 PLAN 2C - FLOOR PLAN (MONTEREY)
- A2.08 PLAN 2C - ELEVATION (MONTEREY)
- A2.09 PLAN 2 - SECTIONS
- A3.01 PLAN 3 - FRONT ELEVATIONS
- A3.02 PLAN 3A - FLOOR PLAN (SPANISH)
- A3.03 PLAN 3 - OPTIONS
- A3.04 PLAN 3A - ELEVATION (SPANISH)
- A3.05 PLAN 3C - FLOOR PLAN (MONTEREY)
- A3.06 PLAN 3C - ELEVATION (MONTEREY)
- A3.07 PLAN 3D - FLOOR PLAN (TUSCAN)
- A3.08 PLAN 3D - ELEVATION (TUSCAN)
- A3.09 PLAN 3 - SECTIONS
- A4.01 DETAILS (SPANISH)
- A4.02 DETAILS (AMERICAN FARMHOUSE)
- A4.03 DETAILS (MONTEREY)
- A4.04 DETAILS (TUSCAN)

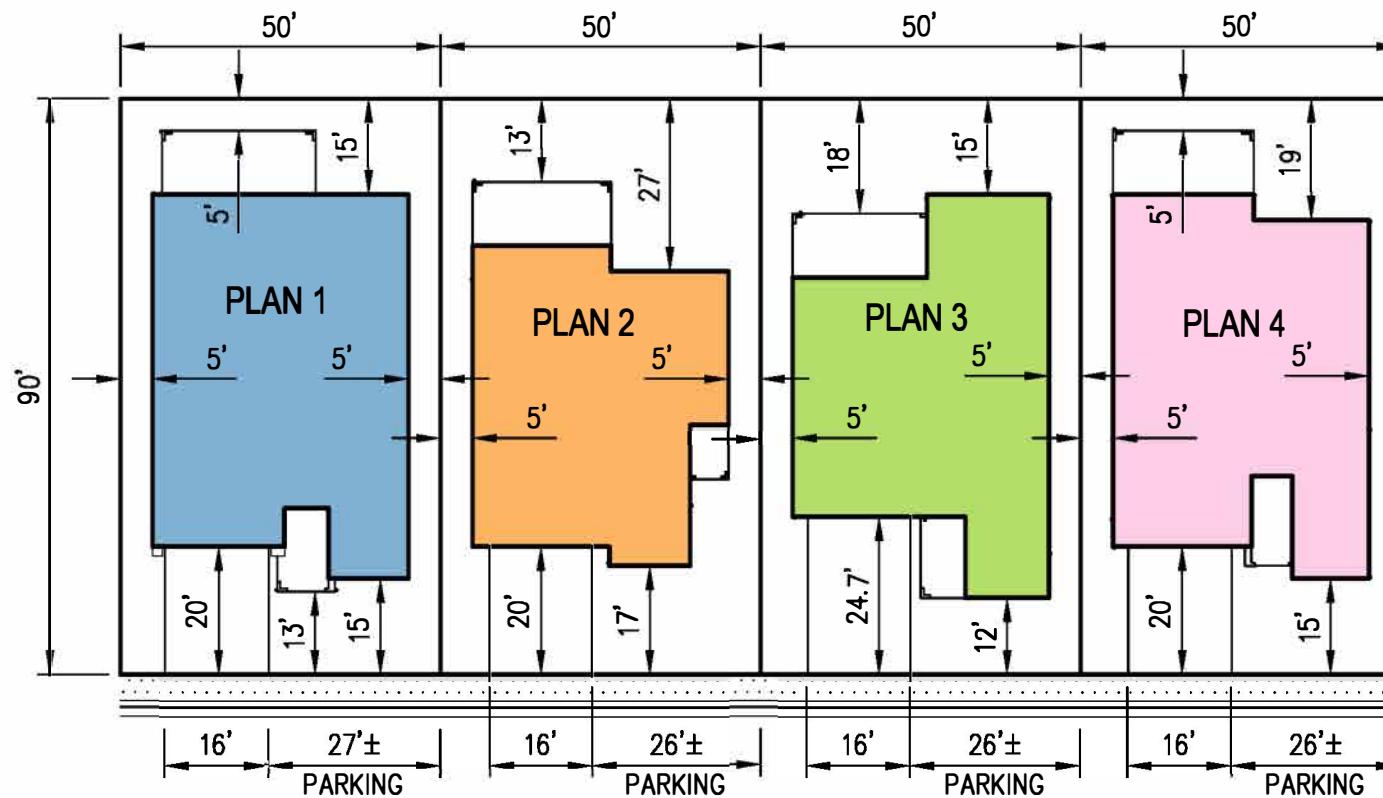


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BARBEE &  
GIBSON, Inc.  
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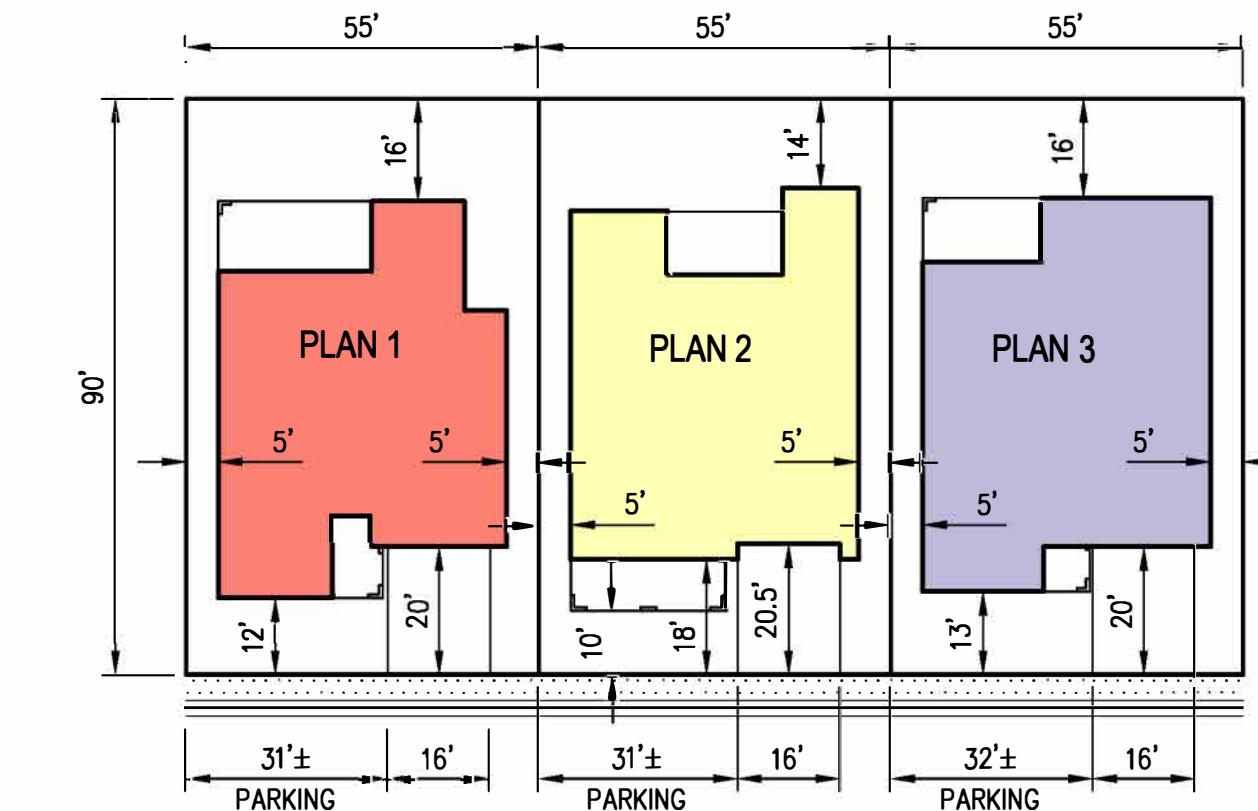


Bassenian | Lagoni  
ARCHITECTURE • PLANNING • INTERIORS





50 X 90 TYPICAL SETBACKS  
NOT TO SCALE



55 X 90 TYPICAL SETBACKS  
NOT TO SCALE

50 X 90 PRODUCT SUMMARY

PLAN	TYPICAL LOT COVERAGE	QUANTITY
PLAN 1	24.8%	33
PLAN 2	24.8%	33
PLAN 3	24.8%	33
PLAN 4	25.6%	34
TOTAL	-	133

NOTE: PER THE PLANNED DEVELOPMENT DISTRICT STANDARDS, LOT COVERAGE CALCULATION DOES NOT INCLUDE COVERED PATIOS/PORCHES.

PROJECT DATA

- GENERAL PLAN DESIGNATION: SAND CREEK FOCUS AREA MEDIUM LOW DENSITY RESIDENTIAL
- ZONING DESIGNATION: PLANNED DEVELOPMENT (PD-12-02)
- LAND AREA SUMMARY  
RESIDENTIAL LOT AREA: 27.2 AC±  
PRIVATE PARK SPACE: 3.8 AC±  
PRIVATE LANDSCAPING: 2.0 AC±  
PUBLIC STREET: 9.1 AC±  
PRIVATE STREET: 8.8 AC±  
TOTAL AREA: 50.9 AC±
- PARKING REQUIREMENT: 1 ON-STREET PARKING SPACE PER UNIT
- SITE DISTANCE TRIANGLES ARE SHOWN FOR ALL CORNER LOTS. SIGHT DISTANCE TRIANGLES DO NOT APPLY FOR DRIVEWAYS.

LEGEND

- 1 LOT NUMBER
- 1A PLAN TYPE AND ELEVATION
- \* ENHANCED ELEVATION

NOTE: PER THE PLANNED DEVELOPMENT DISTRICT STANDARDS, LOT COVERAGE CALCULATION DOES NOT INCLUDE COVERED PATIOS/PORCHES.

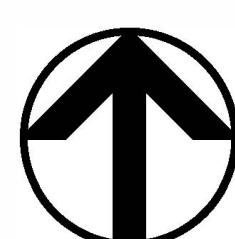
MINIMUM SETBACK REQUIREMENTS:

- MINIMUM FRONT YARD SETBACK: 10' MIN. TO PORCH FRONT AND 12' MIN. TO LIVING SPACE
- MINIMUM SIDE YARD SETBACK: 5' MIN. INTERIOR AND 10' MIN. STREET-SIDE
- MINIMUM REAR YARD SETBACK: 10' MIN. AND 12' AVERAGE
- MINIMUM REAR YARD SETBACK(95' OR DEEPER): 15' MIN. AND 18' AVERAGE
- MINIMUM DRIVEWAY SETBACK: 20' MIN.
- MINIMUM COVERED PATIO: 3' MIN. TO REAR AND SIDE YARD
- MAXIMUM LOT COVERAGE FOR SINGLE-STORY: 60%
- MAXIMUM LOT COVERAGE FOR TWO-STORY: 54%

CREEKSIDE  
DEVELOPMENT PLAN  
SUBDIVISION 9501

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

SCALE: 1" = 40' DATE: DECEMBER 12, 2024

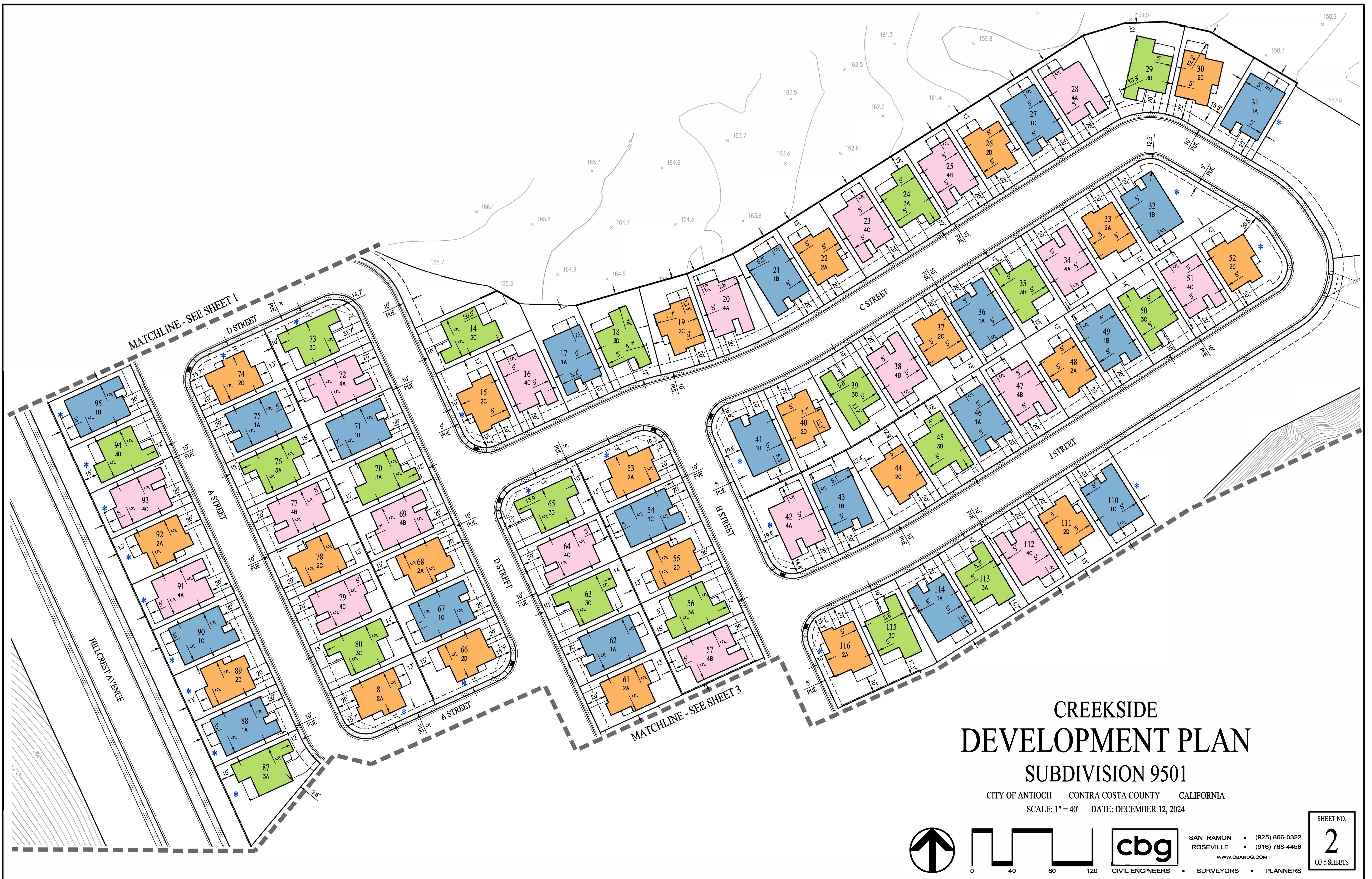


0 40 80 120

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CIVIL ENGINEERS

SAN RAMON (925) 866-0322  
ROSEVILLE (916) 788-4456  
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SHEET NO.  
1  
OF 5 SHEETS



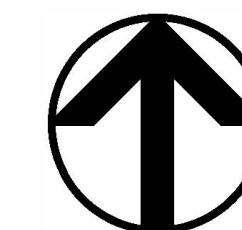
2  
OF 5 SHEETS



# CREEKSIDE DEVELOPMENT PLAN SUBDIVISION 9501

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

SCALE: 1" = 40' DATE: DECEMBER 12, 2024



The logo features a black square containing the lowercase letters "cbg" in a bold, sans-serif font. To the left of the logo is a vertical scale bar with numerical markings at 0, 40, 80, and 120. Below the logo, the text "CIVIL ENGINEERS" is centered. To the right of the logo, there is a horizontal list of services: "SURVEYORS" and "PLANNERS", each preceded by a small black square bullet point. To the far right, two additional service lines are listed: "SAN RAMON" with phone number "(925) 866-0322" and "ROSEVILLE" with phone number "(916) 788-4456". The website "WWW.CBANDG.COM" is also listed below the phone numbers.

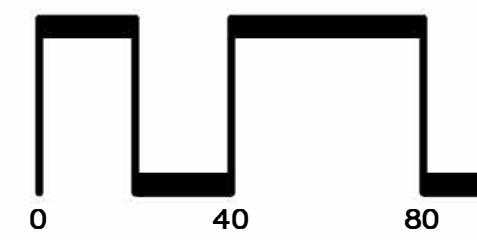
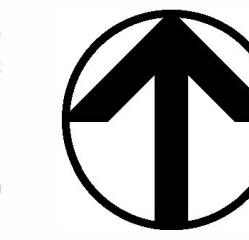
SHEET NO.  
**3**  
OF 5 SHEETS



# CREEKSIDER DEVELOPMENT PLAN SUBDIVISION 9501

CITY OF ANTIOCH      CONTRA COSTA COUNTY      CALIFORNIA

SCALE: 1" = 40' DATE: DECEMBER 12, 2024



**SAN RAMON** ■ (925) 866-0322  
**ROSEVILLE** ■ (916) 788-4456  
  
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**SURVEYORS** ■ **PLANNERS**

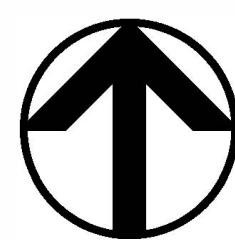
SHEET NO.  
**4**  
OF 5 SHEETS



# CREEKSIDE DEVELOPMENT PLAN SUBDIVISION 9501

CITY OF ANTIOCH   CONTRA COSTA COUNTY   CALIFORNIA

SCALE: 1" = 40'   DATE: DECEMBER 12, 2024



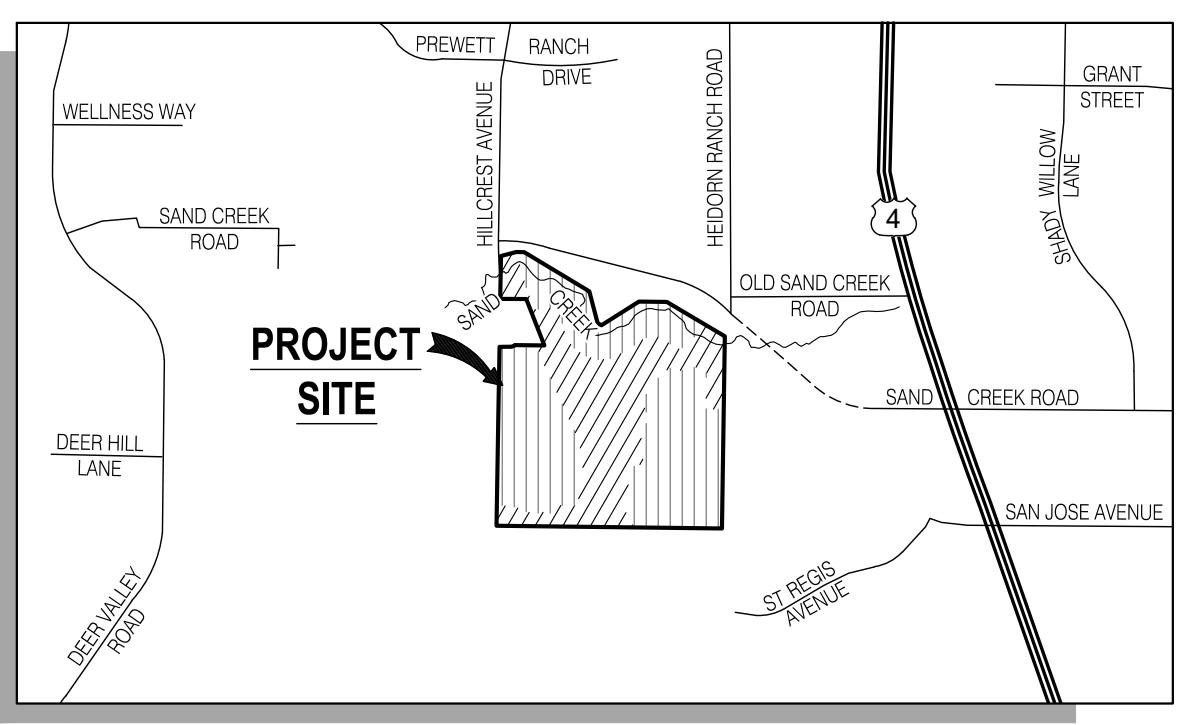
0   40   80   120

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SHEET NO.  
**5**  
OF 5 SHEETS






VICINITY MAP

NOT TO SCALE

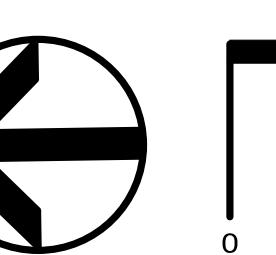
LEGEND

	FUTURE	EXISTING	PROPOSED
SUBDIVISION BOUNDARY	- - -	—	—
LOT LINE	—	—	—
RIGHT OF WAY	—	—	—
EASEMENT	—	—	—
CENTERLINE	—	—	—
CURB	—	—	—
MEDIAN	—	—	—



VESTING TENTATIVE MAP  
AND LOT AREA PLAN  
**CREEKSIDE**  
SUBDIVISION 9501

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1" = 100 DATE: JULY 24, 2024



0 100 200 300

100 200 300

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2

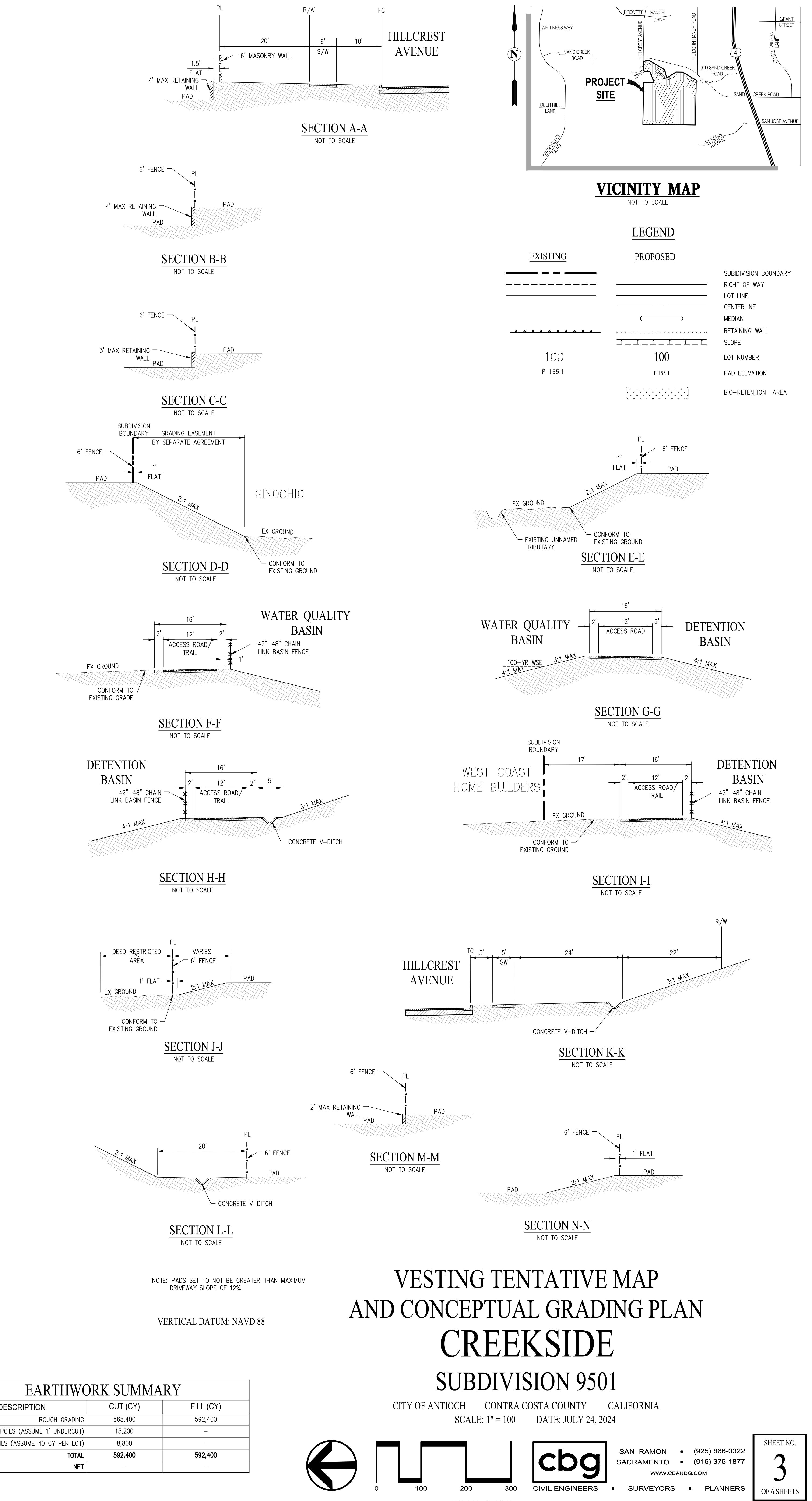

JOB NO.: 974-056

2

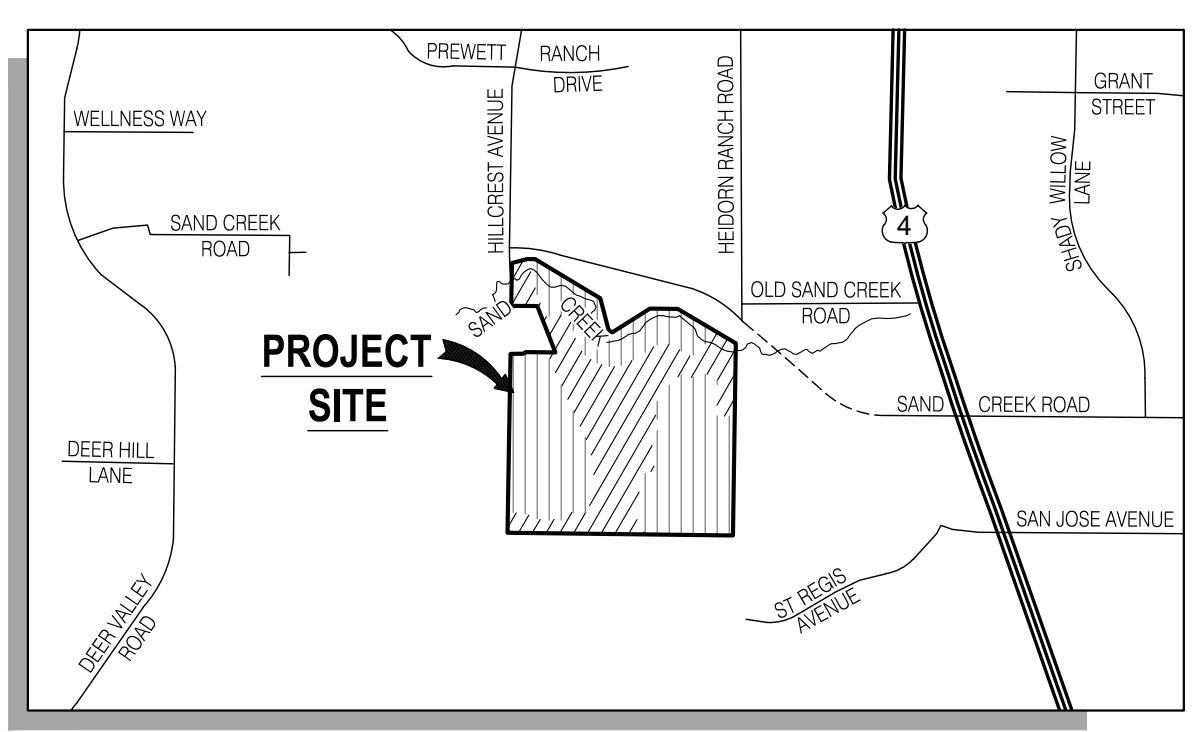

OF 6 SHEETS

F0149490 ACAD PERMIT #22-0290

B8







# CINITY MAP

TO SCALE

## LEGEND

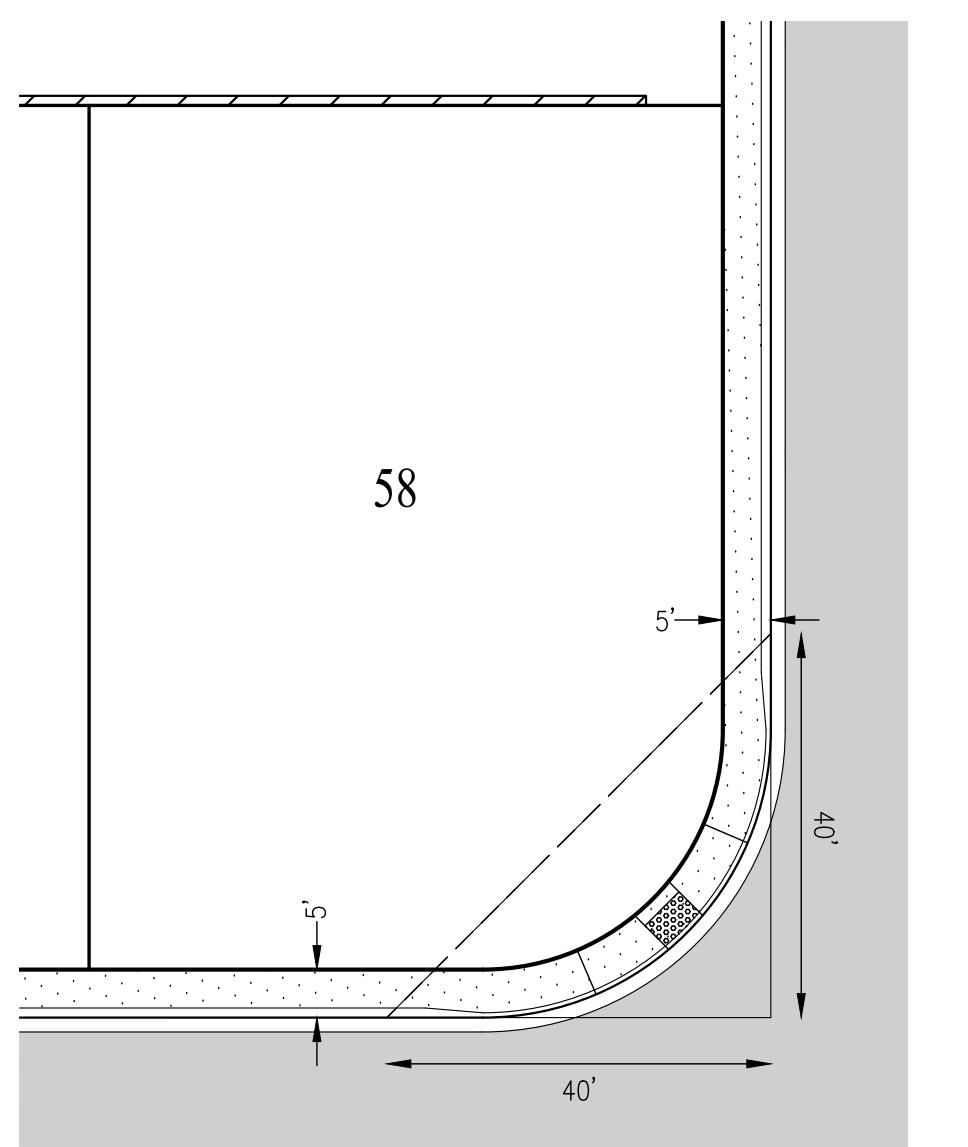
<u>FUTURE</u>	<u>EXISTING</u>	<u>PROPOSED</u>	
			SUBDIVISION BOUNDARY
			LOT LINE
			RIGHT OF WAY
			EASEMENT
			CENTERLINE
			CURB
			MEDIAN

VISIBILITY TRIANGLE DOES NOT APPLY AT ELBOWS AND KNUCKLES

PARKING TYPE	PARKING REQUIRED		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
STORAGE (COVERED)	2 SPACES/DU	440 SPACES	2 SPACES/DU	440 SPACES
GUEST PARKING (ON-STREET)	1 SPACE/DU	220 SPACES	—	220 SPACES
TOTAL ON-STREET PARKING	—	—	—	94 SPACES
<b>TOTAL</b>	<b>—</b>	<b>660 SPACES</b>	<b>—</b>	<b>754 SPACES</b>

ST PARKING (PARALLEL SPACES) DIMENSIONS

INTERIOR:	8' X 23'
END OF ROW:	8' X 20'



40' SIGHT TRIANGLE

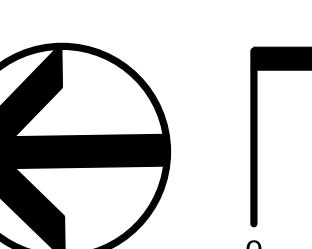
# 40° SIGHT TRIANGLE

SCALE 1" = 20'

**VESTING TENTATIVE MAP  
AND PARKING PLAN  
CREEKSIDE  
SUBDIVISION 9501**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1" = 100 DATE: JULY 24, 2024

CITY OF ANTIOCH      CONTRA COSTA COUNTY      CALIFORNIA  
SCALE: 1" = 100      DATE: JULY 24, 2024



JOB NO.: 974-056



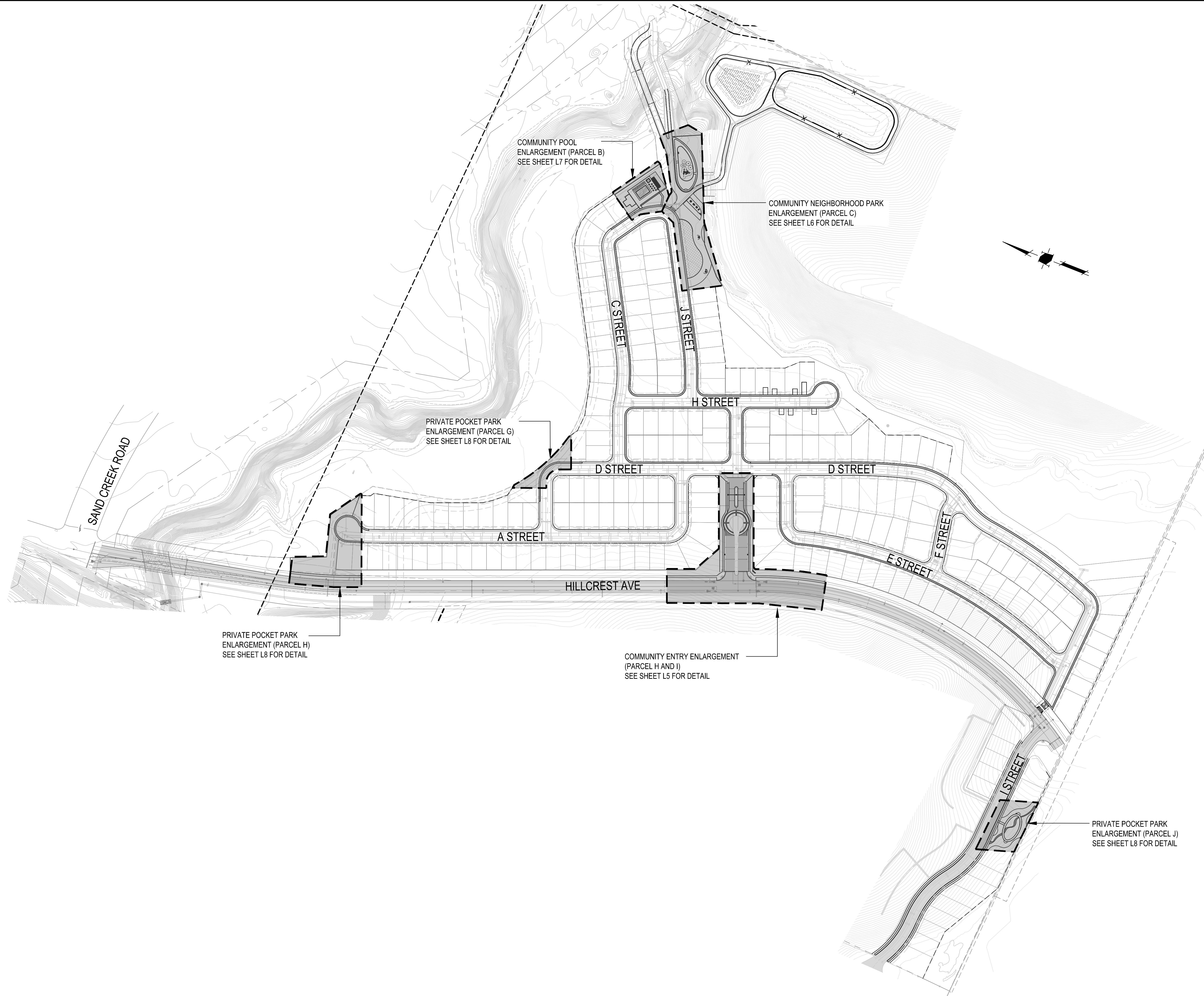
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**CREEKSIDE  
DESIGN REVIEW  
TRI-POINTE HOMES  
ANTIOCH, CA**

△		
△		
△		
△		
△		
NO	DATE	DESCRIPTION
PROJECT NO:	6938.00	
CAD DWG FILE:	693800CL.DWG	
DESIGNED BY:	CM	
DRAWN BY:	JN	
CHECKED BY:	CM	
DATE:	NOVEMBER 25, 2024	
SCALE:	NONE	
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**OVERALL SITE  
PLAN**

L1

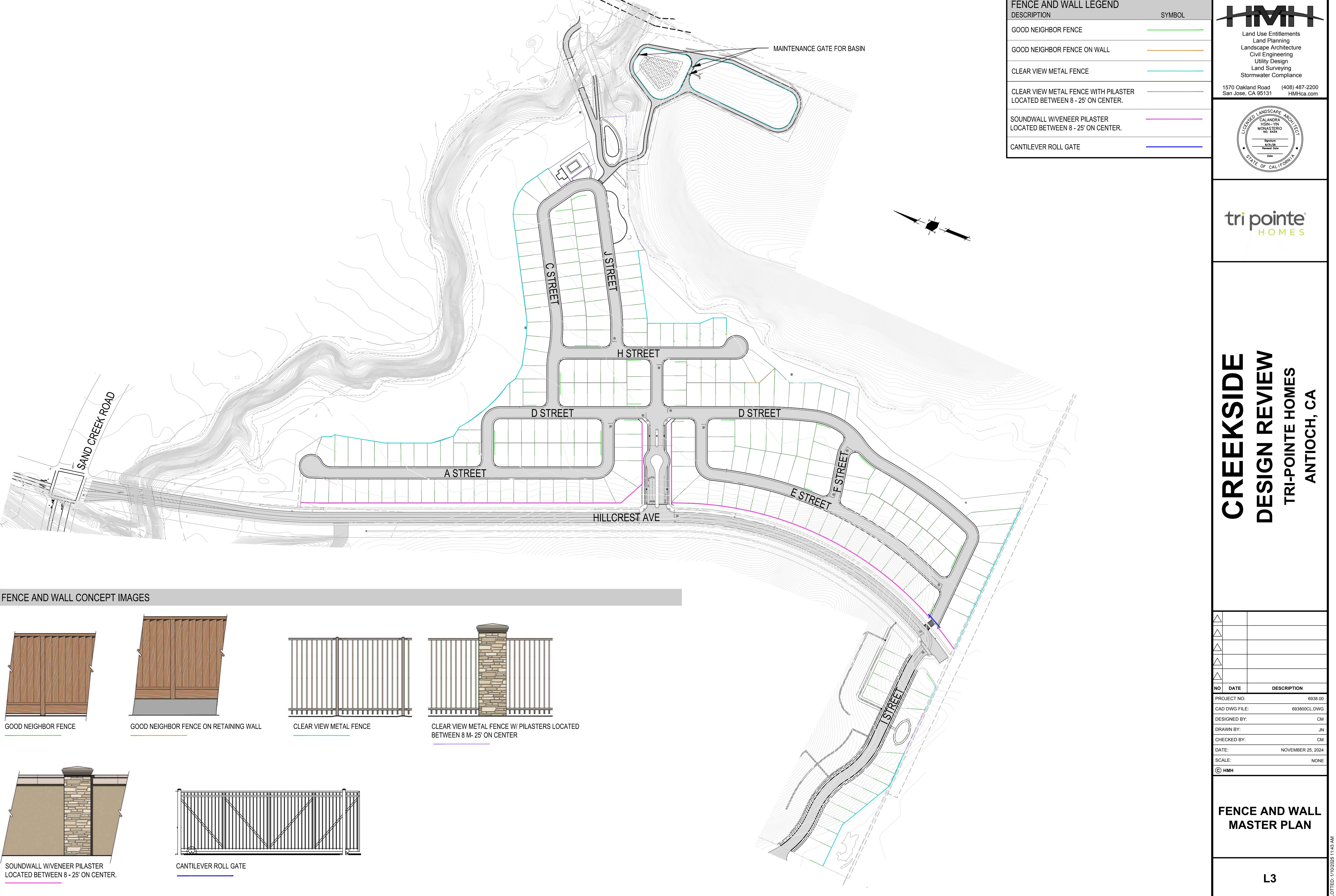
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**tri pointe  
HOMES**

PLOTTED: 12/6/2024 3:37 PM







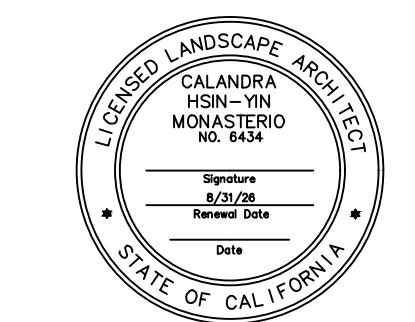
# CREEKSIDE DESIGN REVIEW TRI-POINTE HOMES ANTIOCH, CA

## IRRIGATION MASTER PLAN

L4

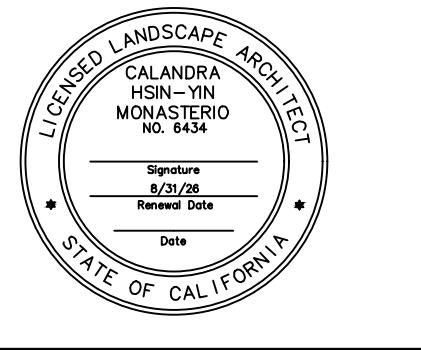
B16

**HMH**  
Land Use Entitlements  
Land Planning  
Landscape Architecture  
Civil Engineering  
Utility Design  
Land Surveying  
Stormwater Compliance  
1570 Oakland Road (408) 487-2200  
San Jose, CA 95131 HMHca.com



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HOMES

NO	DATE	DESCRIPTION
PROJECT NO:		6938.00
CAD DWG FILE:		693800CL.DWG
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SCALE:		NONE
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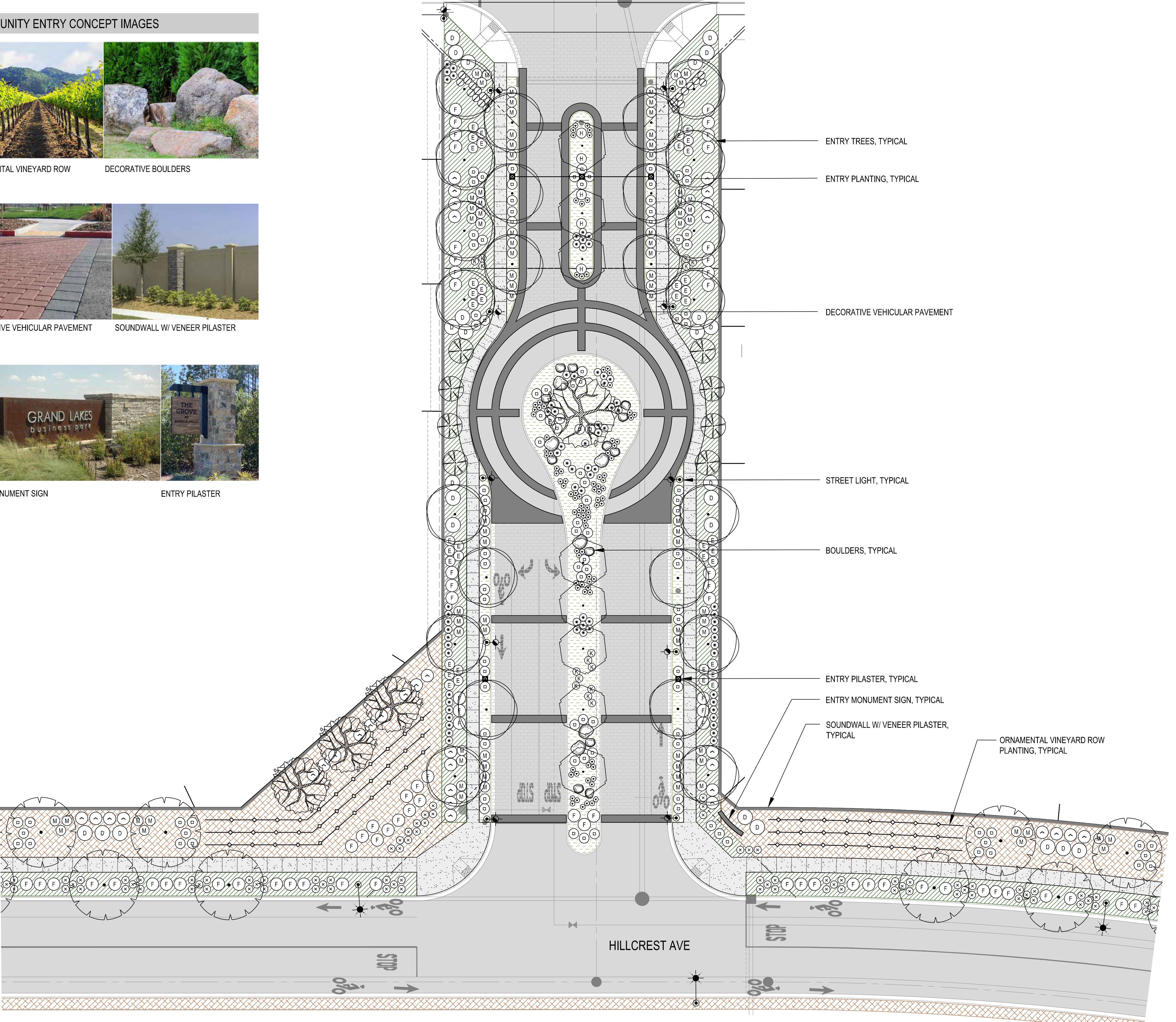


**tri pointe<sup>®</sup>**  
HOMES

# CREEKSIDE DESIGN REVIEW

## TRI-POINTE HOMES

### ANTIOCH, CA



TREE LEGEND	
DESCRIPTION	SYMBOL
CUPRESSUS SEMPERVIRENS	
LAGERSTROEMIA INDICA 'MUSKOGEE'	
OLEA EUROPEA 'SWAN HILL'	
PISTACIA CHINENSIS 'KEITH DAVEY'	
PLATANUS 'COLUMBIA'	

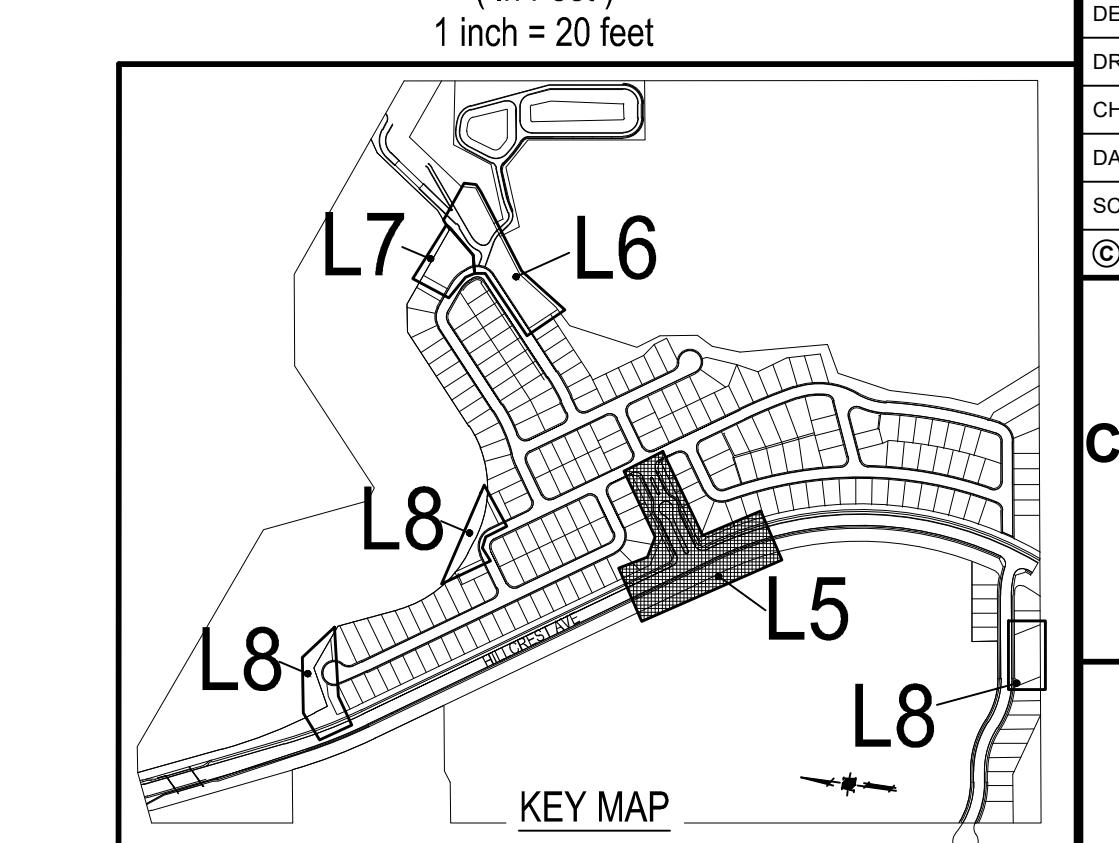
SHRUB LEGEND	
DESCRIPTION	SYMBOL
ABELIA GRANDIFLORA	
CISTUS HYBRIDUS	
DIETES IRIDIODIDES	
HEMEROCALLIS LILIOSPHODELUS	
LAVANDULA DENTATA	
MUHLENBERGIA CAPILLARIS	
MYRTUS COMMUNIS	
PHORMIUM TENAX	
PEROVSKIA ATRIPLOCIFOLIA	
ROSA 'MEIRADENA'	
ROSMARINUS OFFICINALIS	
WESTRINGIA FRUTICOSA	

GROUNDCOVER LEGEND	
DESCRIPTION	SYMBOL
BARK MULCH	
LANTANA MONTEVIDENSIS	
MYOPORUM PARVIFOLIUM	

VINE LEGEND	
DESCRIPTION	SYMBOL
VITIS 'ROGER'S RED'	

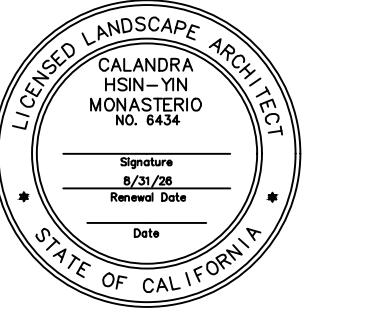


NOTES:  
1. SEE PLANTING LEGEND ON SHEET L8 FOR MORE INFORMATION.

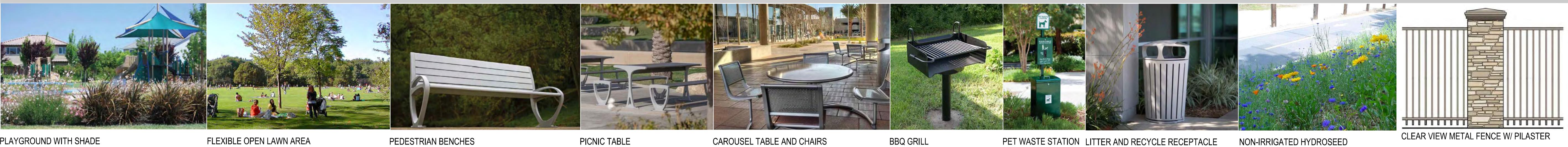


Land Use Entitlements  
Land Planning  
Landscape Architecture  
Civil Engineering  
Utility Design  
Land Surveying  
Stormwater Compliance

1570 Oakland Road (408) 487-2200  
San Jose, CA 95131 HMHca.com



#### COMMUNITY PARK CONCEPT IMAGES



PLAYGROUND WITH SHADE

FLEXIBLE OPEN LAWN AREA

PEDESTRIAN BENCHES

PICNIC TABLE

CAROUSEL TABLE AND CHAIRS

BBQ GRILL

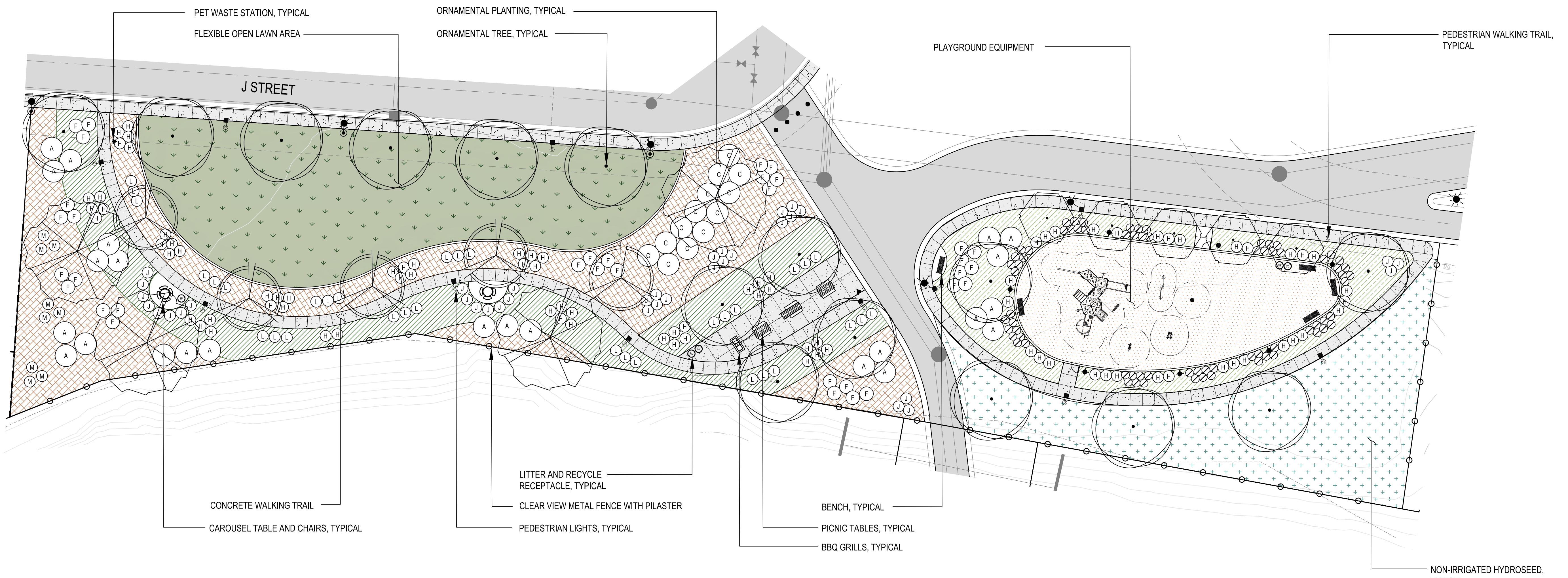
PET WASTE STATION LITTER AND RECYCLE RECEPTACLE

NON-IRRIGATED HYDROSEED

CLEAR VIEW METAL FENCE W/ PILASTER

**tri pointe<sup>®</sup>**  
HOMES

## CREEKSIDE DESIGN REVIEW TRI-POINTE HOMES ANTIOCH, CA

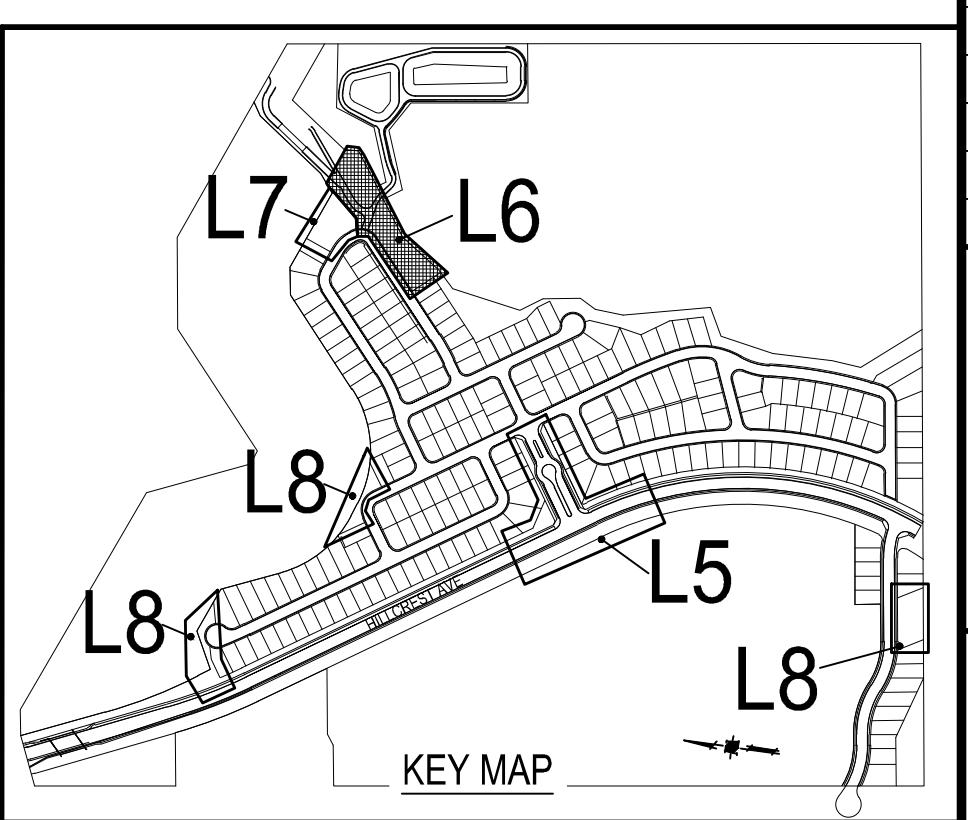
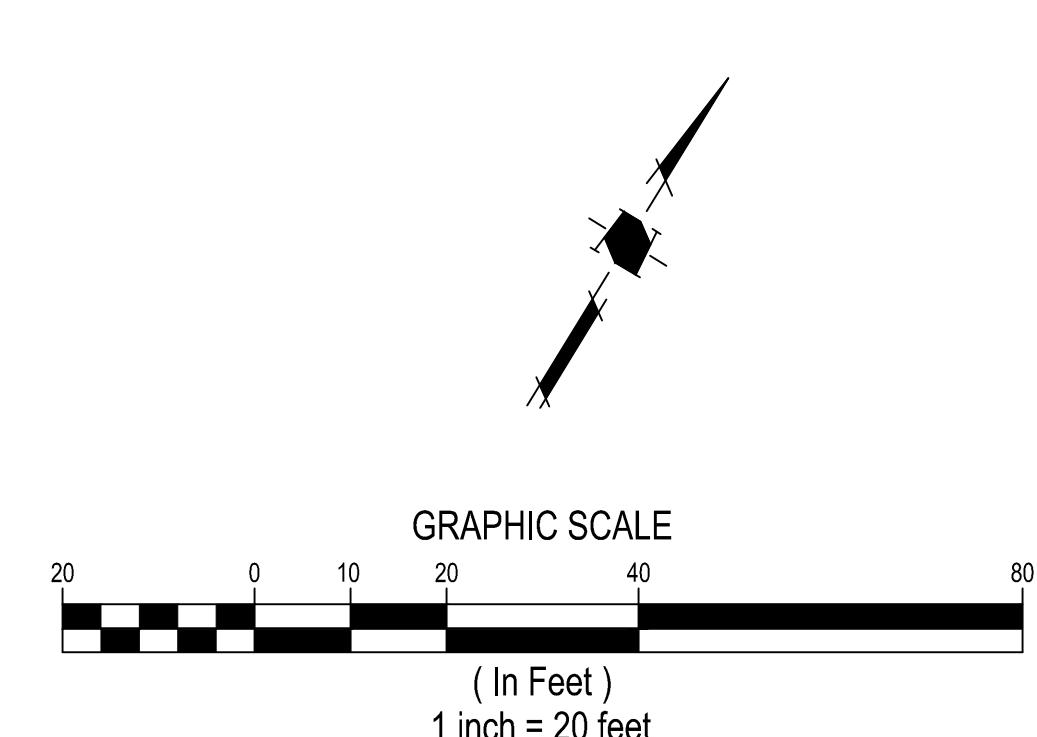


NO	DATE	DESCRIPTION
PROJECT NO:	6938.00	
CAD DWG FILE:	693800CL.DWG	
DESIGNED BY:	CM	
DRAWN BY:	JN	
CHECKED BY:	CM	
DATE:	NOVEMBER 25, 2024	
SCALE:	1" = 20'	
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### C COMMUNITY NEIGHBORHOOD PARK - PARCEL C

SCALE: 1" = 20'

PROJECT 693800CL.DWG



### COMMUNITY NEIGHBORHOOD PARK ENLARGEMENT

L6

**RECREATION COMMUNITY POOL CONCEPT IMAGES**

POOL DECK SHADE STRUCTURE WITH LOUNGE FURNITURE SPA SYNTHETIC LAWN LOUNGE CHAIR TABLE AND CHAIRS LITTER & RECYCLE RECEPTACLE DOUBLE SWING POOL GATE CLEAR VIEW METAL FENCE W/ PILASTER

**TREE LEGEND**

DESCRIPTION	SYMBOL
ACER RUBRUM	
LAGERSTROEMIA INDICA 'MUSKOGEE'	
OLEA EUROPEA 'SWAN HILL'	
PLATANUS 'COLUMBIA'	
ULMUS PARVIFOLIA	

**LICENSED LANDSCAPE ARCHITECT CALANDRA MONASTERIO NO. 6434**

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**CREEKSIDE DESIGN REVIEW TRI-POINTE HOMES ANTIOCH, CA**

**PROJECT NO:** 693800CL.DWG  
**CAD DWG FILE:** 693800CL.DWG  
**DESIGNED BY:** CM  
**DRAWN BY:** JN  
**CHECKED BY:** CM  
**DATE:** NOVEMBER 25, 2024  
**SCALE:** 1" = 10'  
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**COMMUNITY POOL ENLARGEMENT**

**KEY MAP**

**COMMUNITY POOL - PARCEL B**  
SCALE: 1" = 10'

**GRAPHIC SCALE**

10 0 5 10 20 40  
(In Feet)  
1 inch = 10 feet

**PROJECT NUMBER**  
S1693800CL.DWG  
REVIEW693800CL.DWG

**NO DATE DESCRIPTION**

**ORNTAL PLANTING, TYPICAL**

**REC BUILDING WITH RESTROOM AND MEETING ROOM**

**SPA**

**POOL**

**CONCRETE POOL DECK**

**LOUNGE CHAIRS, TYPICAL**

**ORNAMENTAL TREE, TYPICAL**

**CLEAR VIEW METAL FENCE WITH PILASTER**

**POST LIGHT, TYPICAL**

**FLEXIBLE TABLE AND CHAIRS**

**FLEXIBLE SYNTHETIC LAWN SPACE**

**SHADE STRUCTURE WITH LOUNGE FURNITURE**

**BOLLARD LIGHT, TYPICAL**

**DOUBLE SWING POOL GATE**

**PROJECT NUMBER**  
S1693800CL.DWG  
REVIEW693800CL.DWG

**NO DATE DESCRIPTION**

**ARCTOSTAPHYLOS 'DR. HURD'**

**ARTEMISIA 'POWIS CASTLE'**

**CEANOOTHUS 'CONCHA'**

**MYRTUS COMMUNIS**

**PHORMIUM TENAX**

**PEROVSKIA ATRIPLOCIFOLIA**

**PRUNUS VIRGINIANA**

**RHAMNUS CALIFORNICA**

**WESTRINGIA FRUTICOSA**

**GROUNDCOVER LEGEND**

DESCRIPTION	SYMBOL
BARK MULCH	
TRACHELOSPERMUM ASIATICUM	

**PROJECT NUMBER**  
S1693800CL.DWG  
REVIEW693800CL.DWG

**NO DATE DESCRIPTION**

**ACER RUBRUM**

**LAGERSTROEMIA INDICA 'MUSKOGEE'**

**OLEA EUROPEA 'SWAN HILL'**

**PLATANUS 'COLUMBIA'**

**ULMUS PARVIFOLIA**

**SHRUB LEGEND**

DESCRIPTION	SYMBOL
ARCTOSTAPHYLOS 'DR. HURD'	
ARTEMISIA 'POWIS CASTLE'	
CEANOOTHUS 'CONCHA'	
MYRTUS COMMUNIS	
PHORMIUM TENAX	
PEROVSKIA ATRIPLOCIFOLIA	
PRUNUS VIRGINIANA	
RHAMNUS CALIFORNICA	
WESTRINGIA FRUTICOSA	

**PROJECT NUMBER**  
S1693800CL.DWG  
REVIEW693800CL.DWG

**NO DATE DESCRIPTION**

**ACER RUBRUM**

**LAGERSTROEMIA INDICA 'MUSKOGEE'**

**OLEA EUROPEA 'SWAN HILL'**

**PLATANUS 'COLUMBIA'**

**ULMUS PARVIFOLIA**

**SHRUB LEGEND**

DESCRIPTION	SYMBOL
ARCTOSTAPHYLOS 'DR. HURD'	
ARTEMISIA 'POWIS CASTLE'	
CEANOOTHUS 'CONCHA'	
MYRTUS COMMUNIS	
PHORMIUM TENAX	
PEROVSKIA ATRIPLOCIFOLIA	
PRUNUS VIRGINIANA	
RHAMNUS CALIFORNICA	
WESTRINGIA FRUTICOSA	

**PROJECT NUMBER**  
S1693800CL.DWG  
REVIEW693800CL.DWG

**NO DATE DESCRIPTION**

**ACER RUBRUM**

**LAGERSTROEMIA INDICA 'MUSKOGEE'**

**OLEA EUROPEA 'SWAN HILL'**

**PLATANUS 'COLUMBIA'**

**ULMUS PARVIFOLIA**

**SHRUB LEGEND**

DESCRIPTION	SYMBOL
ARCTOSTAPHYLOS 'DR. HURD'	
ARTEMISIA 'POWIS CASTLE'	
CEANOOTHUS 'CONCHA'	
MYRTUS COMMUNIS	
PHORMIUM TENAX	
PEROVSKIA ATRIPLOCIFOLIA	
PRUNUS VIRGINIANA	
RHAMNUS CALIFORNICA	
WESTRINGIA FRUTICOSA	

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S1693800CL.DWG  
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CEANOOTHUS 'CONCHA'	
MYRTUS COMMUNIS	
PHORMIUM TENAX	
PEROVSKIA ATRIPLOCIFOLIA	
PRUNUS VIRGINIANA	
RHAMNUS CALIFORNICA	
WESTRINGIA FRUTICOSA	

**PROJECT NUMBER**  
S1693800CL.DWG  
REVIEW693800CL.DWG

**NO DATE DESCRIPTION**

**ACER RUBRUM**

**LAGERSTROEMIA INDICA 'MUSKOGEE'**

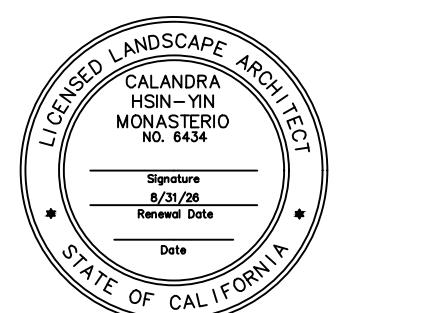
**OLEA EUROPEA 'SWAN HILL'**

**PLATANUS 'COLUMBIA'**

**ULMUS PARVIFOLIA**

**SHRUB LEGEND**

DESCRIPTION	SYMBOL
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CEANOOTHUS 'CONCHA'	
MYRTUS COMMUNIS	
PHORMIUM TENAX	
PEROVSKIA ATRIPLOCIFOLIA	
PRUNUS VIRGINIANA	
RHAMNUS CALIFORNICA	</td



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# CREEKSIDE DESIGN REVIEW

## TRI-POINTE HOMES

### ANTIOCH, CA

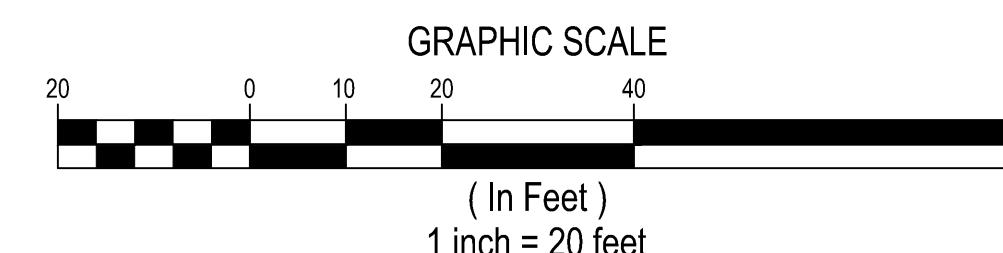
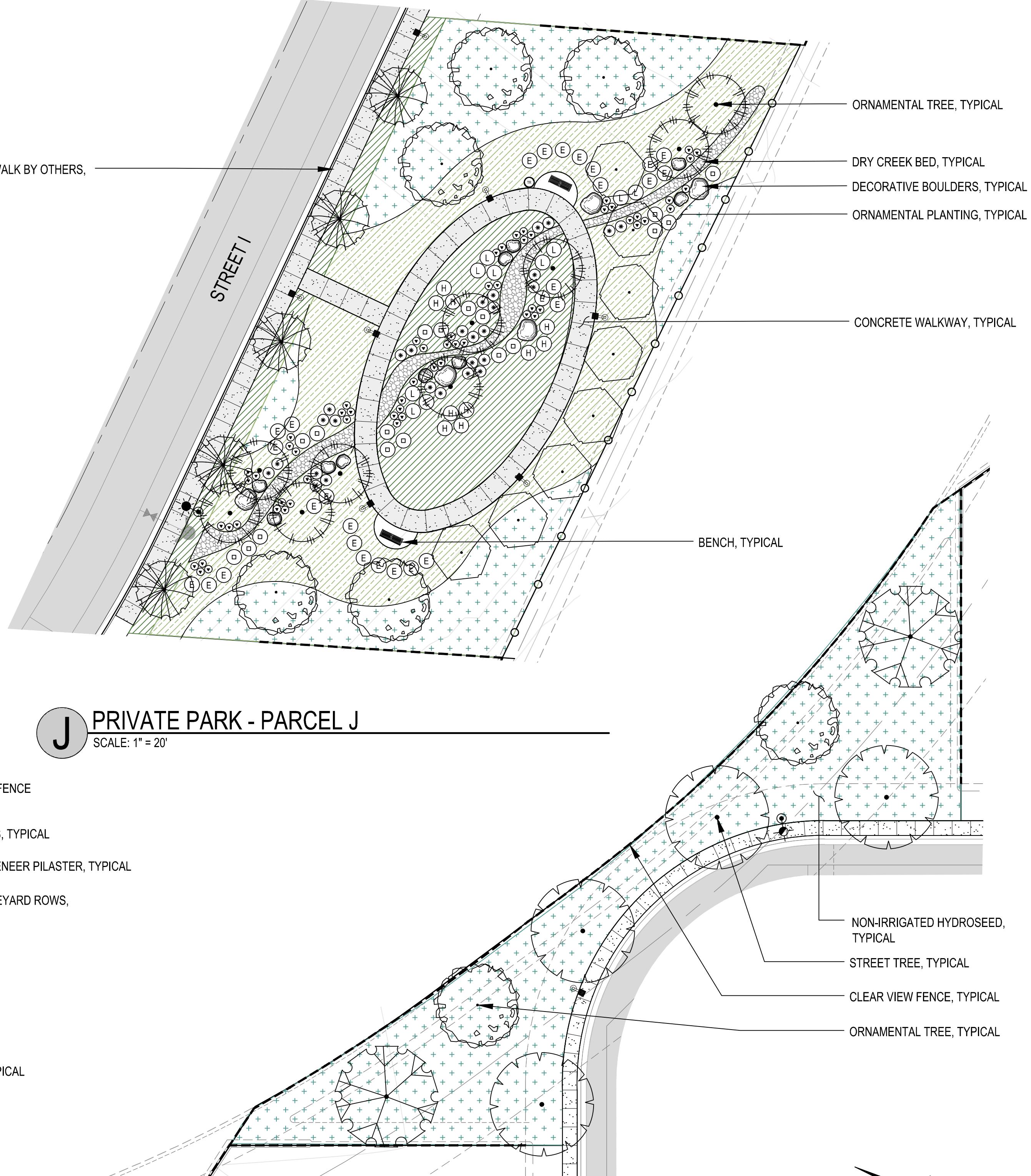


ORNAMENTAL VINEYARD ROW PRECAST SOUND WALL GOOD NEIGHBOR FENCE DECORATIVE BOULDERS DRY CREEK BED BENCH LITTER AND RECYCLE RECEPTACLE NON-IRRIGATED HYDROSEED



**H PRIVATE PARK - PARCEL H**

SCALE: 1" = 20'



TREE LEGEND	
DESCRIPTION	SYMBOL
ACER RUBRUM	
ARBUTUS 'MARINA'	
GINKGO BILOBA	
LAGERSTROEMIA INDICA 'MUSKOGEE'	
PISTACIA CHINENSIS 'KEITH DAVEY'	
PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	
PYRUS "NEW BRADFORD"	
SHRUB LEGEND	
DESCRIPTION	SYMBOL
ARCTOSTAPHYLOS 'DR. HURD'	
ARTEMISIA 'POWIS CASTLE'	
CEANOTHUS 'CONCHA'	
DIETES IRIDIODES	
HEMEROCALLIS LILIOASPHODELUS	
LAVANDULA DENTATA	
PEROVSKIA ATRIPLOCIFOLIA	
PHLOMIS FRUTICOSA	
PHORMIUM TENAX	
PRUNUS VIRGINIANA	
SALVIA LEUCANTHA	
MUhlenbergia CAPILLARIS	
GROUNDCOVER LEGEND	
DESCRIPTION	SYMBOL
HYDROSEED	
BARK MULCH	
CEANOOTHUS 'CENTENNIAL'	
MYOPORUM PARVIFOLIUM	
VINE LEGEND	
DESCRIPTION	SYMBOL
VITIS 'ROGER'S RED'	

NO DATE DESCRIPTION

PROJECT NO.: 6938.00

CAD DWG FILE: 693800CL.DWG

DESIGNED BY: CM

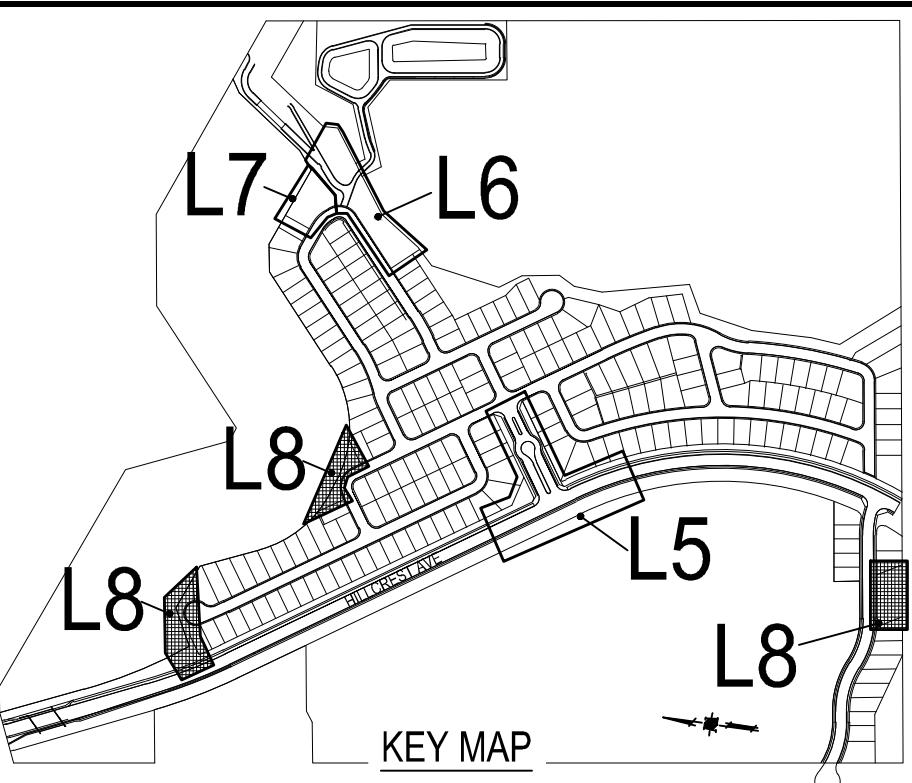
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CHECKED BY: CM

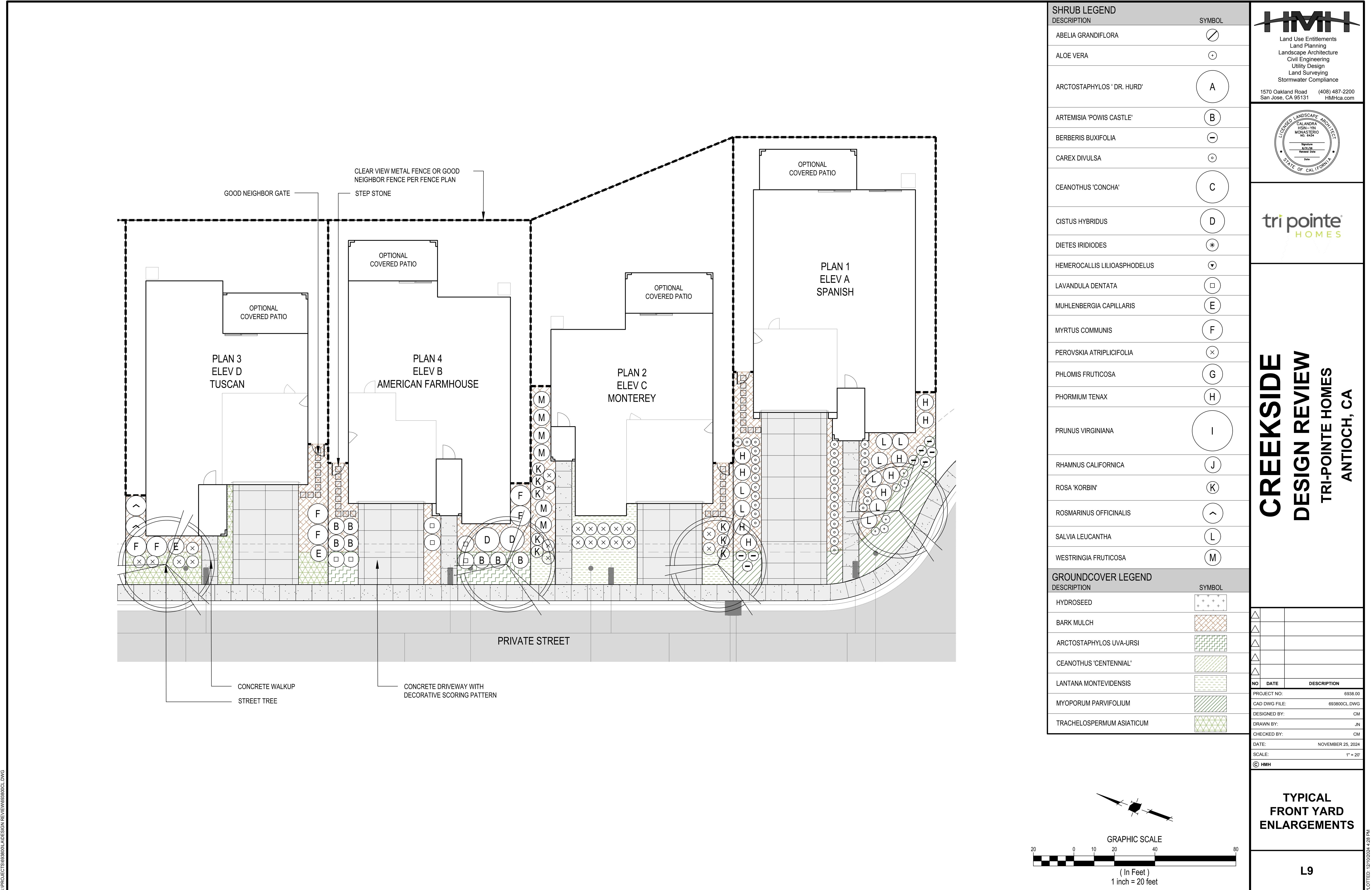
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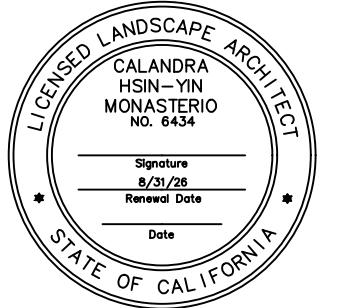
SCALE: 1" = 20'

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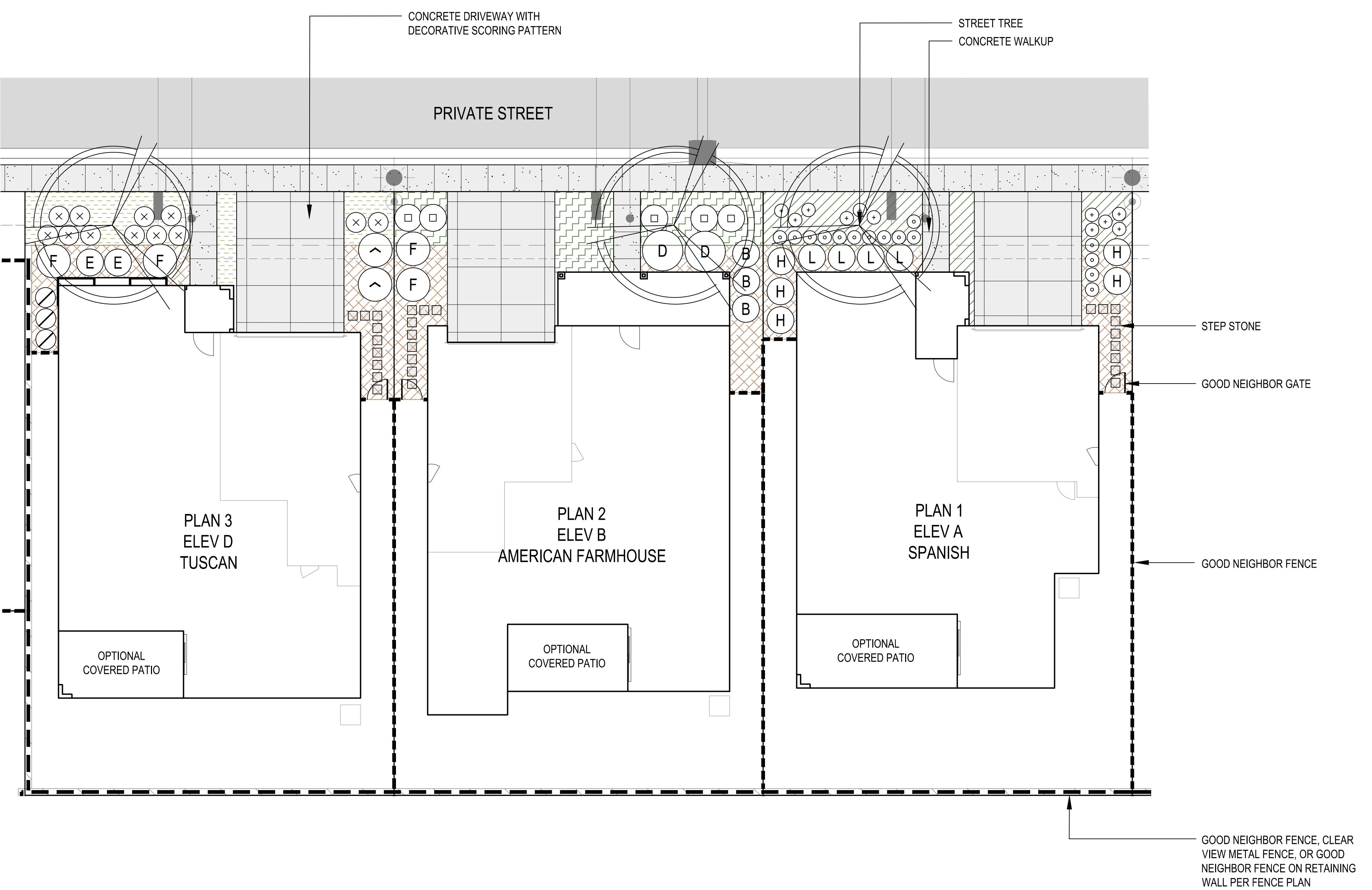
L8





**tri pointe**  
HOMES

# CREEKSIDE DESIGN REVIEW TRI-POINTE HOMES ANTIOCH, CA



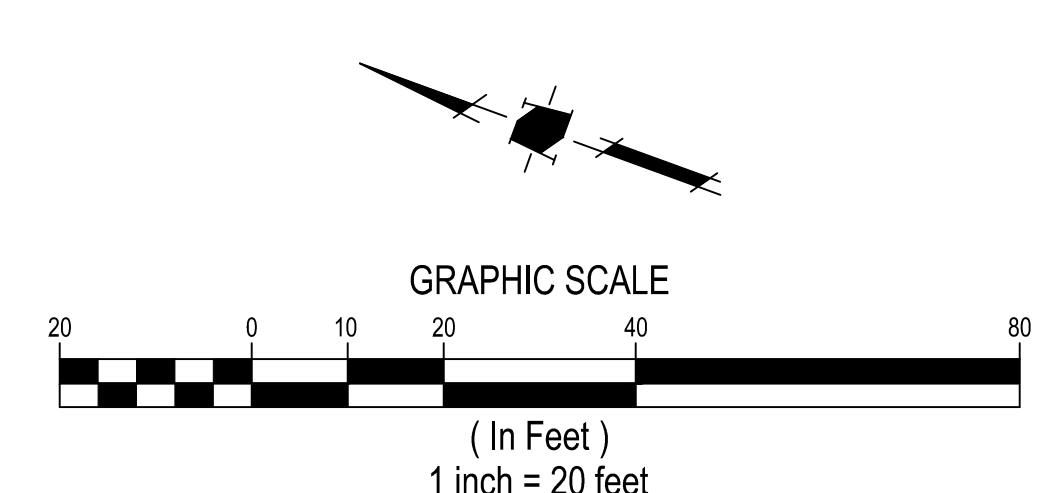
SHRUB LEGEND	
DESCRIPTION	SYMBOL
ABELIA GRANDIFLORA	⊖
AOLE VERA	⊕
ARCTOSTAPHYLOS 'DR. HURD'	A
ARTEMISIA 'POWIS CASTLE'	B
BERBERIS BUXIFOLIA	⊖
CAREX DIVULSA	○
CEANOTHUS 'CONCHA'	C
CISTUS HYBRIDUS	D
DIETES IRIDIODES	*
HEMEROCALLIS LILIOASPHODELUS	▼
LAVANDULA DENTATA	□
MUHLENBERGIA CAPILLARIS	E
MYRTUS COMMUNIS	F
PEROVSKIA ATRIPLOCIFOLIA	⊗
PHLOMIS FRUTICOSA	G
PHORMIUM TENAX	H
PRUNUS VIRGINIANA	I
RHAMNUS CALIFORNICA	J
ROSA 'KORBIN'	K
ROSMARINUS OFFICINALIS	~
SALVIA LEUCANTHA	L
WESTRINGIA FRUTICOSA	M

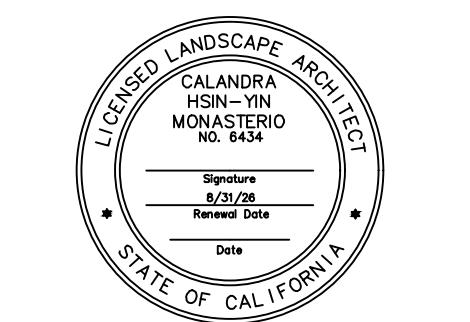
GROUNDCOVER LEGEND	
DESCRIPTION	SYMBOL
HYDROSEED	+ + + + +
BARK MULCH	██████████
ARCTOSTAPHYLOS UVA-URSI	
CEANOTHUS 'CENTENNIAL'	
LANTANA MONTEVIDENSIS	
MYOPORUM PARVIFOLIUM	
TRACHELOSPERMUM ASIATICUM	

NO	DATE	DESCRIPTION
PROJECT NO:	6938.00	
CAD DWG FILE:	693800CL.DWG	
DESIGNED BY:	CM	
DRAWN BY:	JN	
CHECKED BY:	CM	
DATE:	NOVEMBER 25, 2024	
SCALE:	1" = 20'	
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# CREEKSIDE DESIGN REVIEW

## TRI-POINTE HOMES ANTIOCH, CA

SYMBOL	SPACING	BOTANICAL NAME	COMMON NAME	HxW	WUCOLS								
<b>SHRUBS (CONTINUED)</b>													
(H)		PHORMIUM TENAX	NEW ZEALAND FLAX	5 GALLON	5' X 4' L								
(I)		PRUNUS VIRGINIANA	CHOKECHERRY	5 GALLON	10' X 10' M								
(J)		RHAMNUS CALIFORNICA	COFFEEBERRY	5 GALLON	4' X 4' L								
(K)		ROSA 'MEIRADENA'	ICECAP ROSE	5 GALLON	3' X 3' L								
(L)		ROSMARINUS OFFICINALIS	ROSEMARY	1 GALLON	3' X 3' L								
(M)		SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GALLON	4' X 4' L								
		WESTRINGIA FRUTICOSA	COAST ROSEMARY	1 GALLON	2' X 4' L								
<b>GROUNDCOVERS</b>													
	N/A	HYDROSEED	NATIVE HYDROSEED MIX	-	-								
	N/A	BARK MULCH	-	-	-								
	5' OC	ARCTOSTAPHYLOS UVA-URSI	UVA-URSI MANZANITA	1 GALLON	M								
	5' OC	CEANOHTHUS 'CENTENNIAL'	WILD LILAC 'CENTENNIAL'	1 GALLON	M								
	3' OC	LANTANA MONTEVIDENSIS	LANTANA	1 GALLON	L								
	8' OC	MYOPORUM PARVIFOLIUM	MYOPORUM	1 GALLON	L								
	8' OC	TRACHELOSPERMUM ASIATICUM	STAR JASMINE	1 GALLON	M								
<b>VINES</b>													
▼		CAMPsis RADICANS	TRUMPET VINE	1 GALLON									
◇		VITIS 'ROGER'S RED'	ROGER'S RED GRAPE	1 GALLON									
<b>BIOTREATMENT</b>													
		CHONDROPetalum TECTORUM	SMALL CAPE RUSH	1 GALLON	3' X 3'								
	2' OC	JUNCUS PATENS 'ELKS BLUE'	ELK BLUE GRAY RUSH	1 GALLON									
	ACER RUBRUM		ARBUTUS 'MARINA'		OLEA EUROPEA		GINKGO BILOBA		PISTACIA CHINENSIS		PLATANUS 'COLUMBIA'		ULMUS PARVIFOLIA
	ABELIA GRANDIFLORA		ALOE		ARCTOSTAPHYLOS		BERBERIS BUXTIFOLIA		CAMPsis RADICANS		CEANOHTHUS		
	PHLOMIS FRUTICOSA		HEMEROCALLIS SPP.		PHORMIUM SPP.		RHAMNUS SPP.		ROSMARINUS OFFICINALIS		VITIS SPP.		

PROPOSED PLANT PALETTE					
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS
<b>TREES</b>					
	ACER RUBRUM	RED MAPLE	24" BOX	20'X20'	M
	ARBUTUS 'MARINA'	STRAWBERRY TREE	24" BOX	35'X35'	L
	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	24" BOX	50X10'	M
	GINKGO BILOBA 'PRINCETON SENTRY'	MAIDEN HAIR TREE (MALE)	24" BOX	40'X30'	M
	LAGERSTROEMIA INDICA 'MUSKOGEE'	CREPE MYRTLE	24" BOX	25'X20'	L
	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	30'X30'	VL
	PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	40'X35'	L
	PLATANUS 'COLUMBIA'	LONDON PLANE 'COLUMBIA'	24" BOX	50'X40'	M
	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PURPLE-LEAF FLOWERING PLUM	24" BOX	25'X15'	M
	PYRUS CALLERYANA "NEW BRADFORD"	NEW BRADFORD PEAR	24" BOX	35'X30'	M
	ULMUS PARVIFOLIA	CHINESE ELM	24" BOX	50'X40'	M
<b>SHRUBS</b>					
(A)	ABELIA GRANDIFLORA	DWARF ABELIA	1 GALLON	5' X 3'	L
(B)	ALOE VERA	AOLE	1 GALLON	3' X 2'	L
(C)	ARCTOSTAPHYLOS 'DR. HURD'	MANZANITA	1 GALLON	10' X 8'	VL
(D)	ARTEMISIA 'POWIS CASTLE'	CALIFORNIA SAGEBRUSH	1 GALLON	3' X 4'	L
(E)	BERBERIS BUXTIFOLIA	MAGELLAN BARBERRY	1 GALLON	3' X 3'	L
(F)	CAREX DIVULSA	BERKELEY SEDGE	1 GALLON	2' X 2'	L
(G)	CEANOHTHUS 'CONCHA'	WILD LILAC	5 GALLON	8' X 8'	L
(H)	CISTUS HYBRIDUS	WHITE ROCKROSE	1 GALLON	3' X 6'	L
(I)	DIETES IRIDIODES	FORTNIGHT LILY	5 GALLON	5' X 3'	L
(J)	HEMEROCALLIS LILIOASPHODELUS	DAYLILY	5 GALLON	2' X 2'	M
(K)	LAVANDULA DENTATA	FRENCH LAVENDER	1 GALLON	4' X 4'	L
(L)	MUhlenbergia CAPILLARIS	PINK MUHL GRASS	1 GALLON	4' X 4'	L
(M)	MYRTUS COMMUNIS	MYRTLE	1 GALLON	3' X 5'	L
(N)	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GALLON	4' X 3'	L
(O)	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GALLON	6' X 5'	L

### PLANTING PALETTE AND CONCEPT IMAGERY

L11

# THE BROOKS AT CREEKSIDE

## ANTIOCH, CALIFORNIA

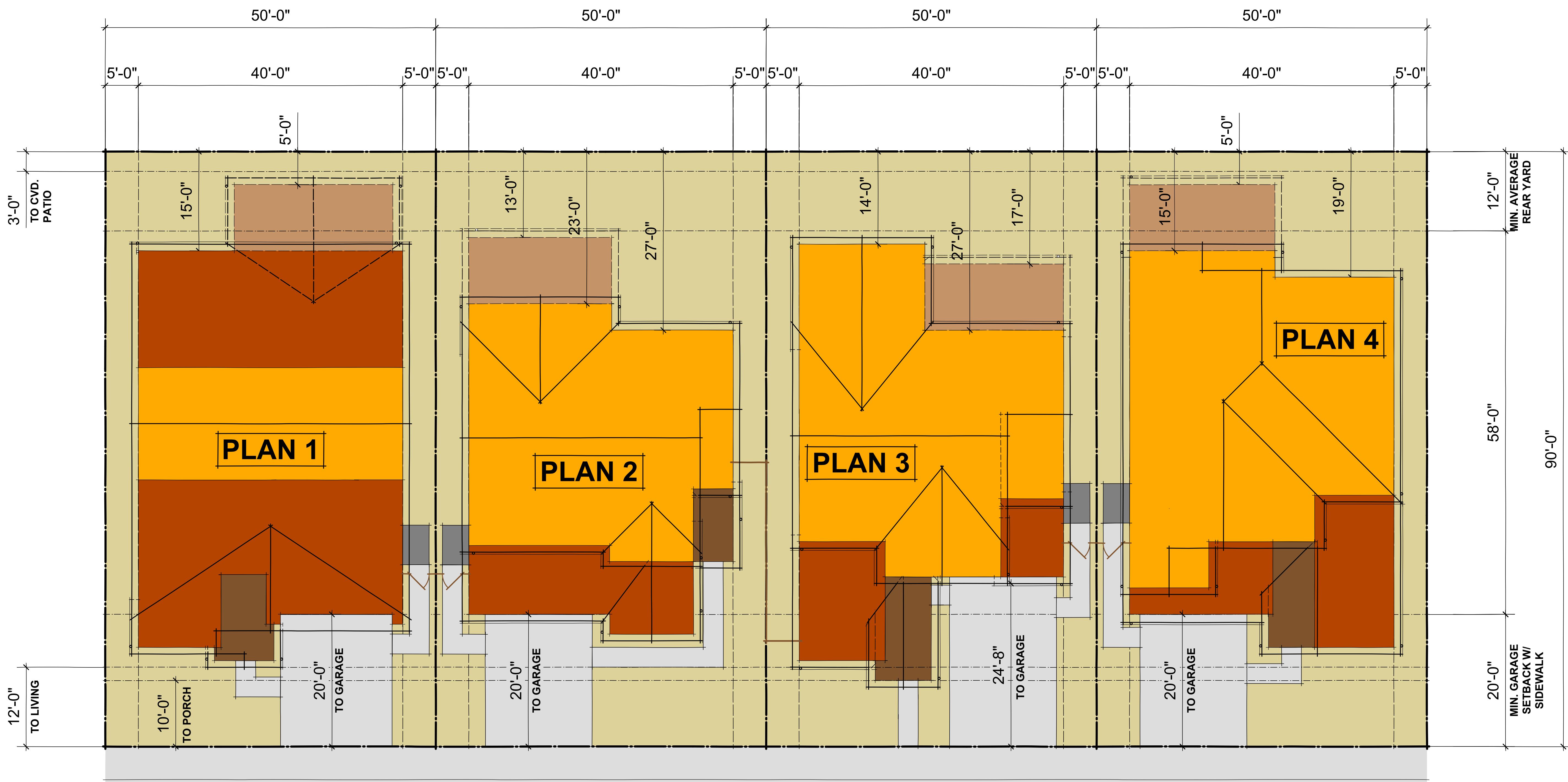


PLAN 1B - FARMHOUSE  
(SCHEME 6)

PLAN 2D - TUSCAN  
(SCHEME 10)

PLAN 4A - SPANISH  
(SCHEME 3)

PLAN 3C - MONTEREY  
(SCHEME 8)

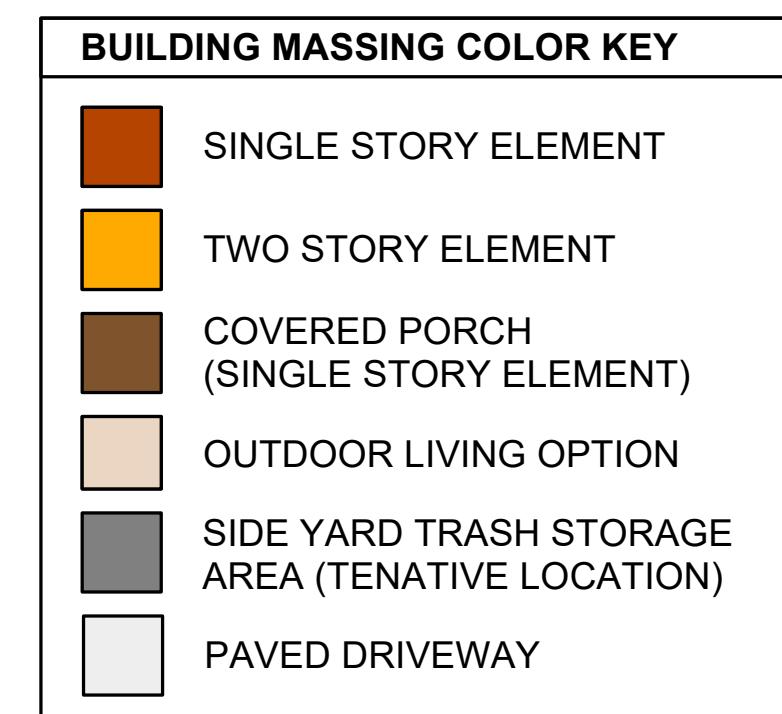


AREA SUMMARY - PLAN 1				
	LOT COVERAGE			LIVABLE AREA
1st Floor		1805		1805
2nd Floor		630		630
Garage		422		-
Porch	A	B	C	D
	97	81	66	-
<b>TOTAL</b>	<b>2324</b>	<b>2308</b>	<b>2293</b>	<b>2435</b>
Outdoor Living Opt.	240	240	240	-
<b>TOTAL</b>	<b>2564</b>	<b>2548</b>	<b>2533</b>	-
2564 S.F. / 4500 S.F. LOT AREA = 56% LOT COVERAGE				

AREA SUMMARY - PLAN 2				
	LOT COVERAGE			LIVABLE AREA
1st Floor		1257		1257
2nd Floor		1312		1312
Garage		473		-
Porch	A	C	D	-
	66	51	51	-
<b>TOTAL</b>	<b>1796</b>	<b>1781</b>	<b>1781</b>	<b>2569</b>
Outdoor Living Opt.	216	216	216	-
<b>TOTAL</b>	<b>2012</b>	<b>1997</b>	<b>1997</b>	-
2012 S.F. / 4500 S.F. LOT AREA = 44.7% LOT COVERAGE				

AREA SUMMARY - PLAN 3				
	LOT COVERAGE			LIVABLE AREA
1st Floor		1427		1427
2nd Floor		1415		1415
Garage		478		-
Porch	A	C	D	-
	56	114	89	-
<b>TOTAL</b>	<b>1961</b>	<b>2019</b>	<b>1994</b>	<b>2842</b>
Outdoor Living Opt.	210	210	210	-
<b>TOTAL</b>	<b>2171</b>	<b>2229</b>	<b>2204</b>	-
2229 S.F. / 4500 S.F. LOT AREA = 49.5% LOT COVERAGE				

AREA SUMMARY - PLAN 4				
	LOT COVERAGE			LIVABLE AREA
1st Floor		1597		1597
2nd Floor		1543		1543
Garage		521		-
Porch	A	B	C	-
	105	92	92	-
<b>TOTAL</b>	<b>2223</b>	<b>2210</b>	<b>2210</b>	<b>3140</b>
Outdoor Living Opt.	198	198	198	-
<b>TOTAL</b>	<b>2421</b>	<b>2408</b>	<b>2408</b>	-
2421 S.F. / 4500 S.F. LOT AREA = 53.8% LOT COVERAGE				





**FRONT ELEVATION "A"**  
(SPANISH)

Scheme 3



**FRONT ELEVATION "B"**  
(AMERICAN FARMHOUSE)

Scheme 6



**FRONT ELEVATION "C"**  
(MONTEREY)

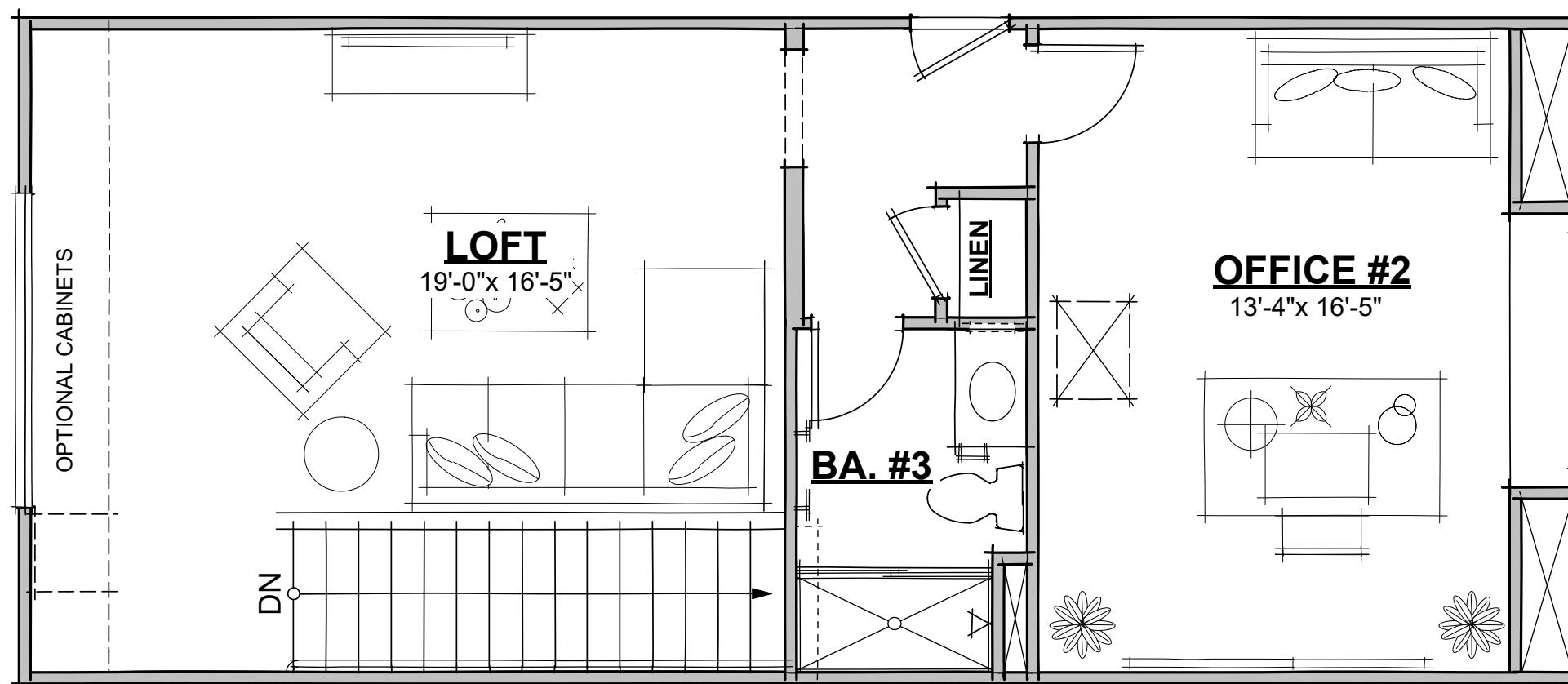
Scheme 7

**PLAN 1**  
**THE BROOKS AT CREEKSIDE**  
Antioch, California

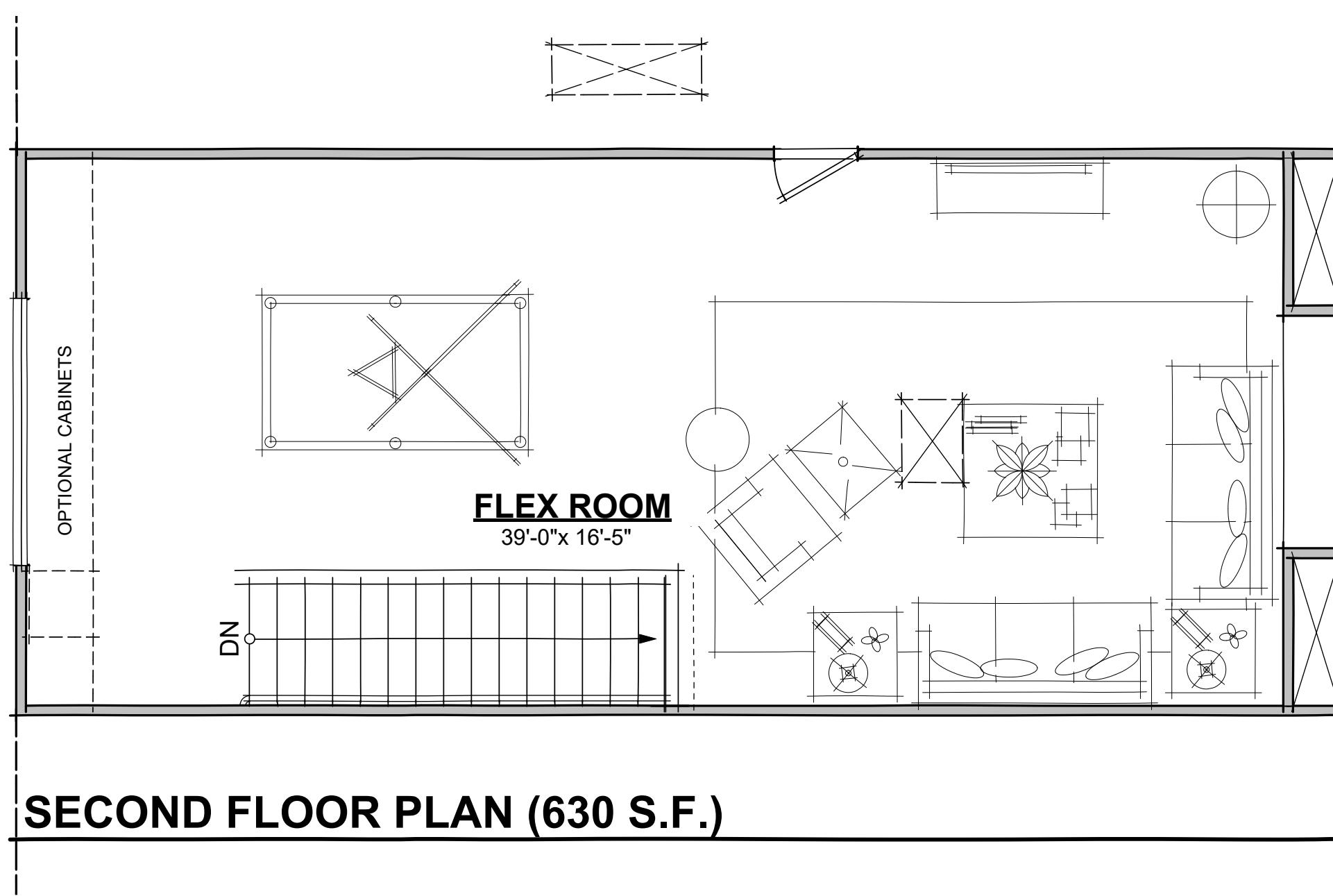
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938 Tyler Street #101  
Benicia, CA 94510  
Phone: (707) 746-6586

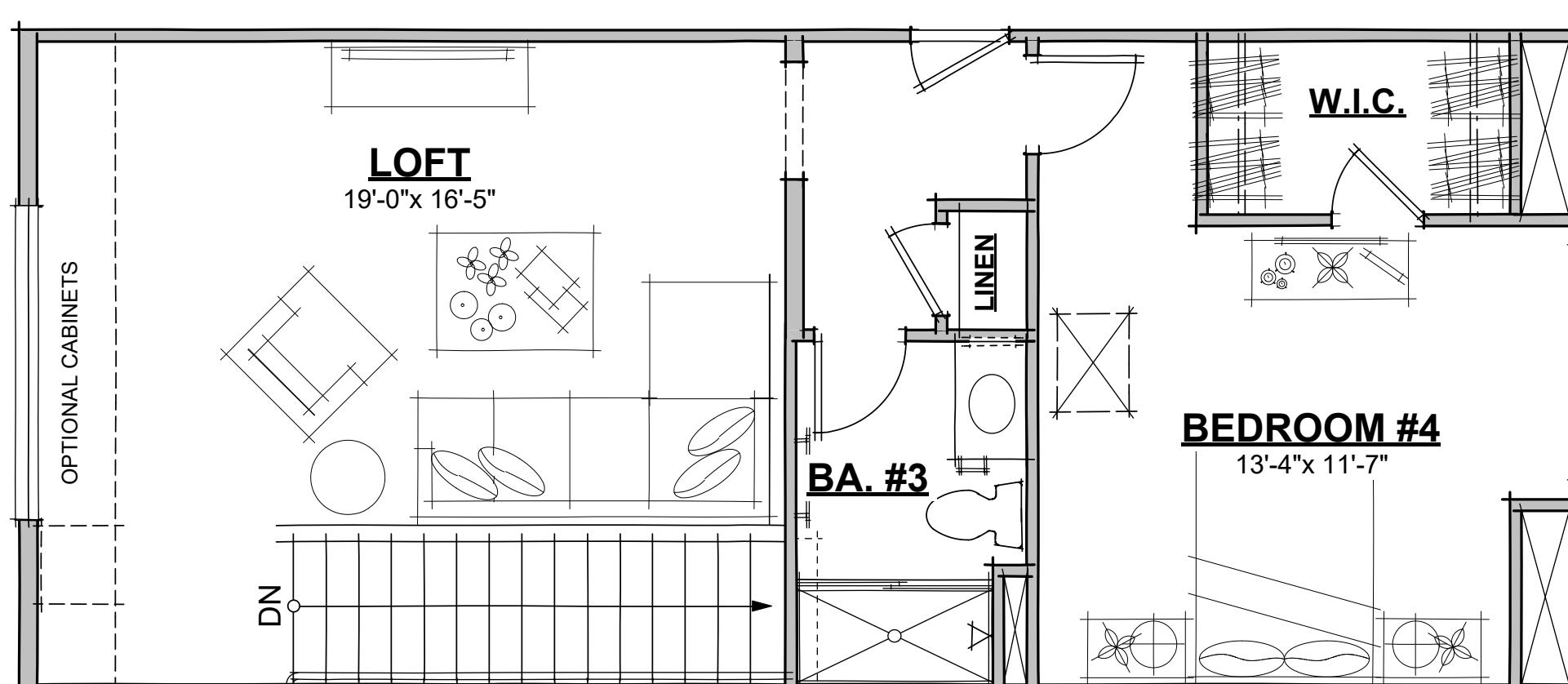
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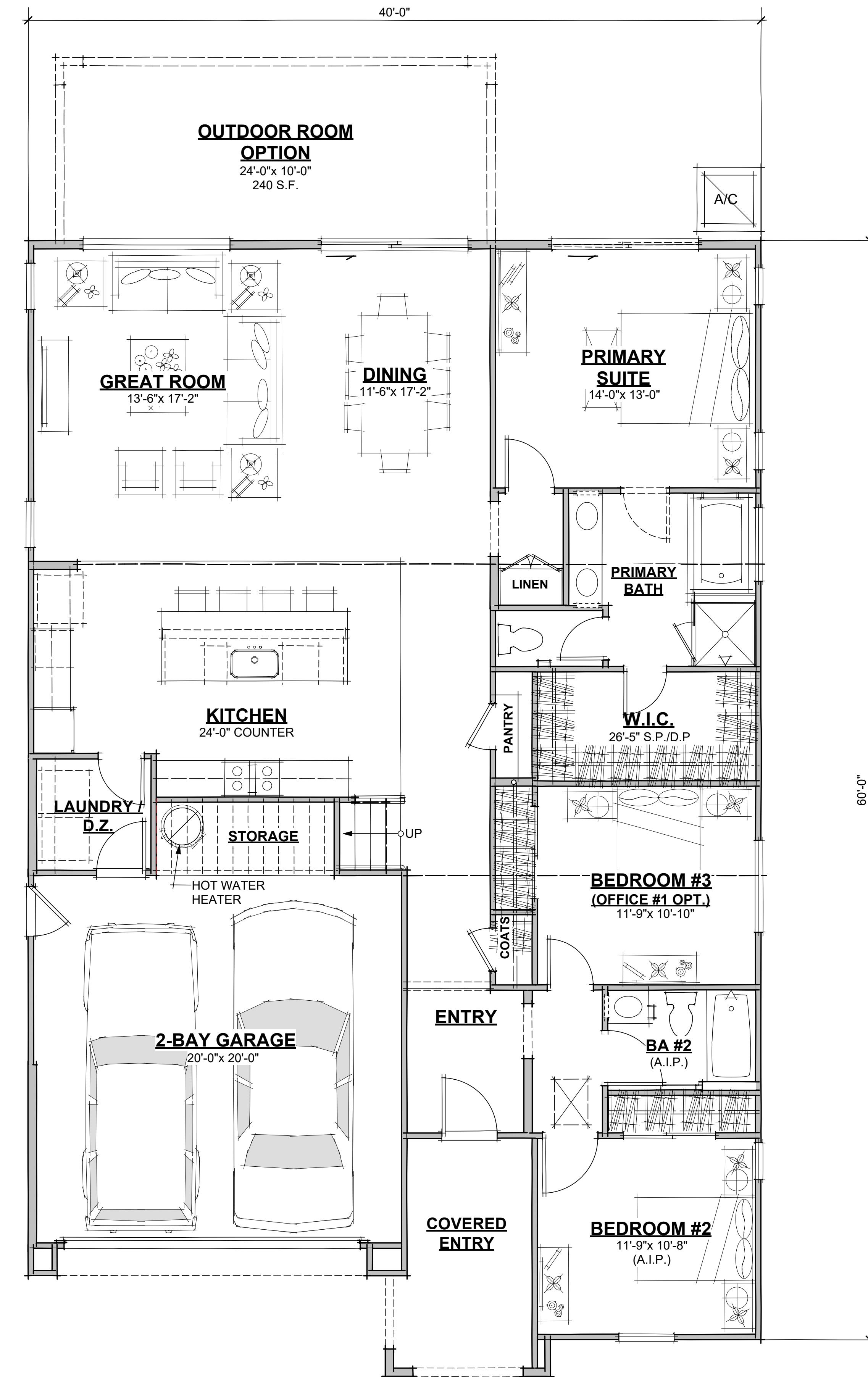
**LOFT / OFFICE #2 / BATH #3 OPTION**



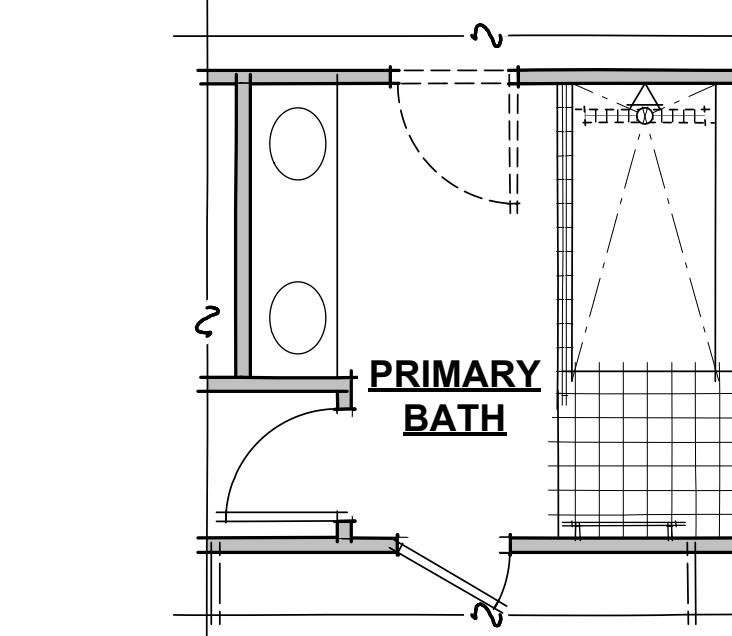
**SECOND FLOOR PLAN (630 S.F.)**



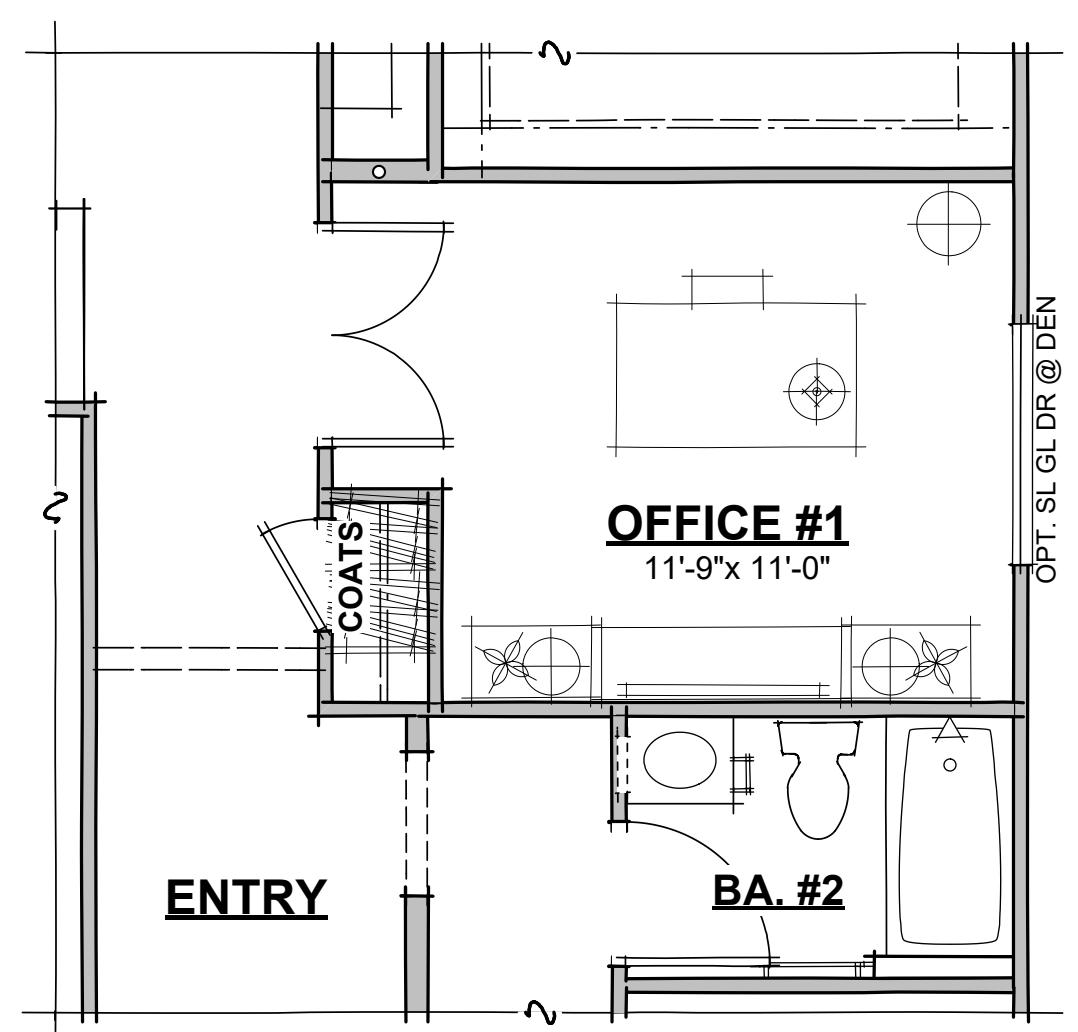
**LOFT / BEDROOM #4 / BATH #3 OPTION**



**FIRST FLOOR PLAN (1765 SF)**



**SUPER SHOWER  
OPTION**



**OFFICE #1 OPTION**

**50'x90'**

## **PLAN 1**

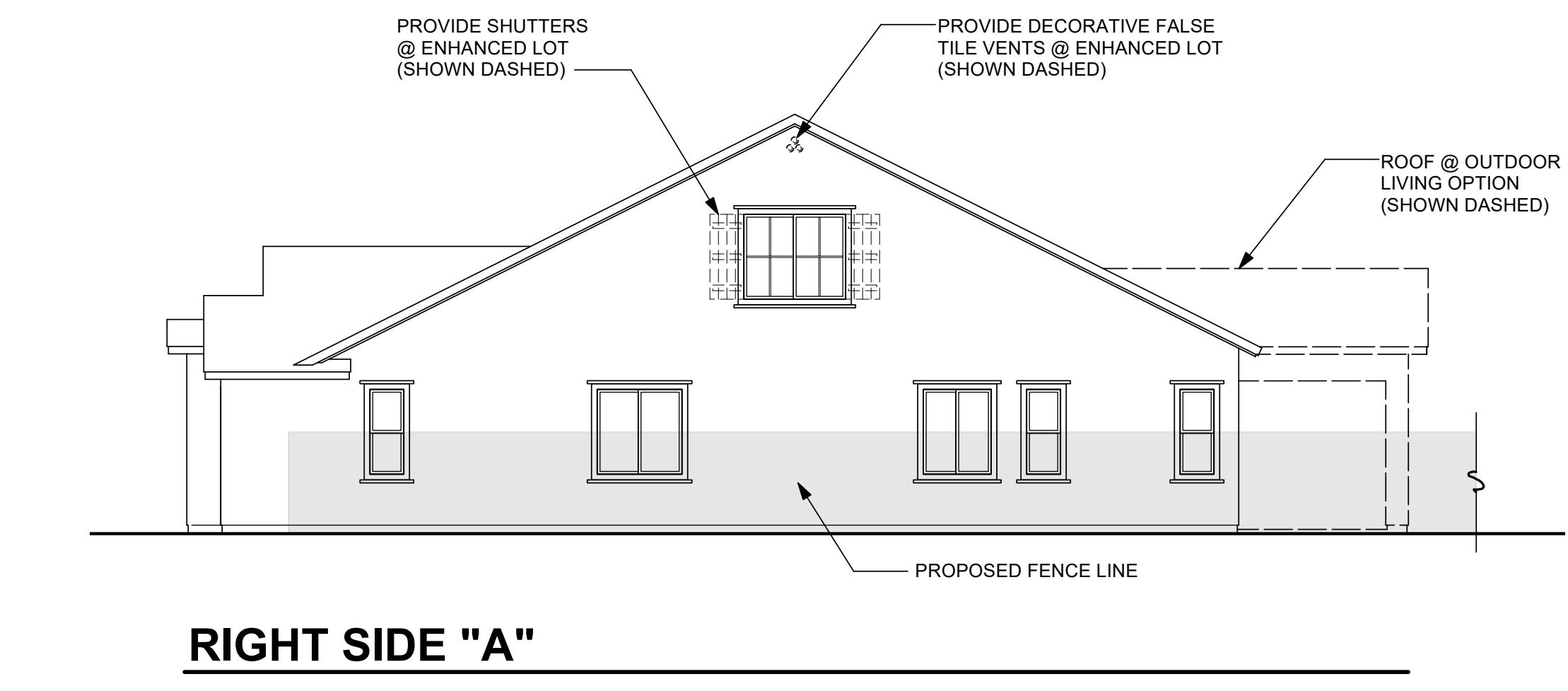
2395 SF

3 Bdrm | 2 Bath | Flex

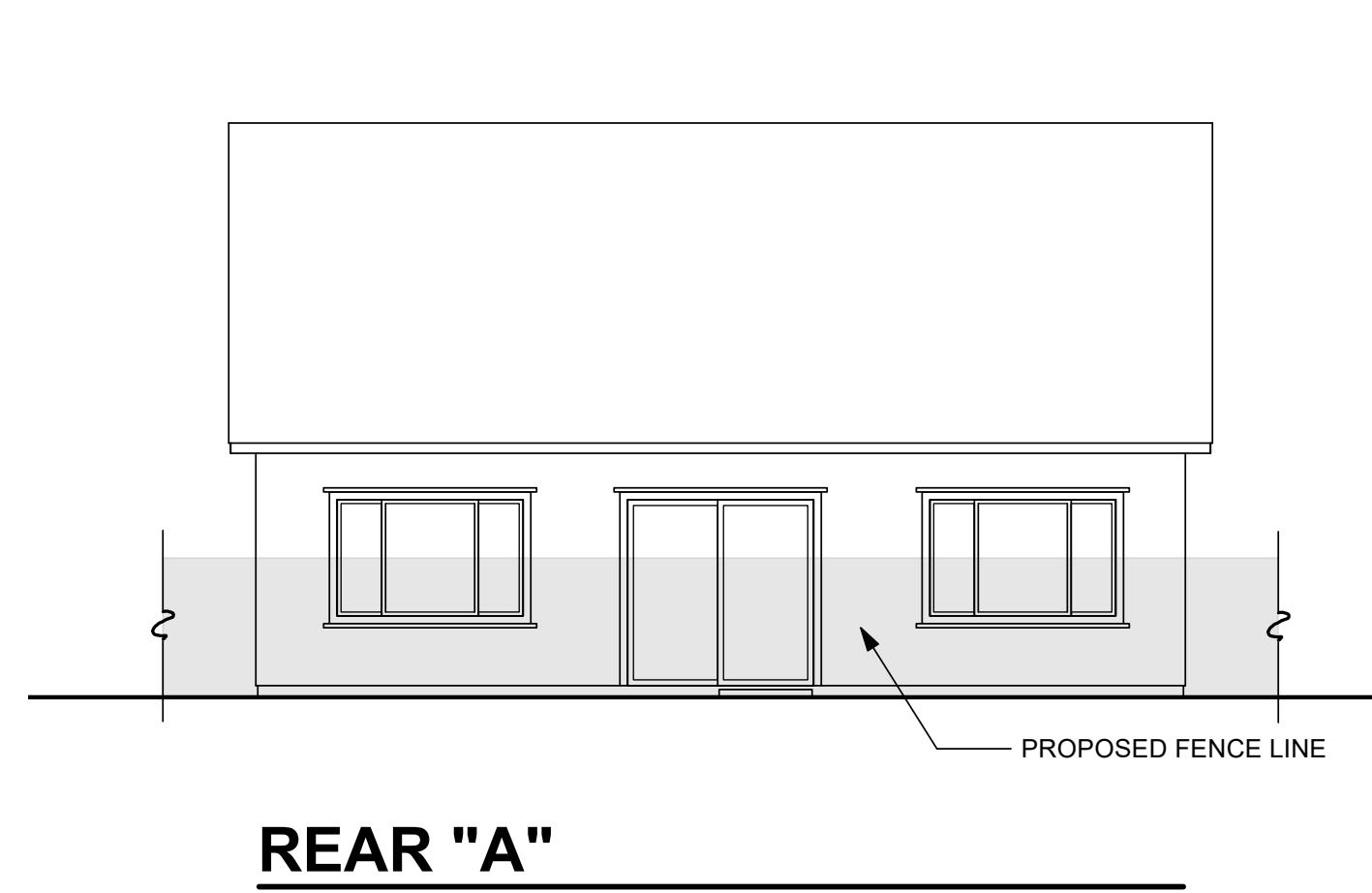
Opt. Bdrm 4 & 3 Bath

Opt. Office & 3 Bath

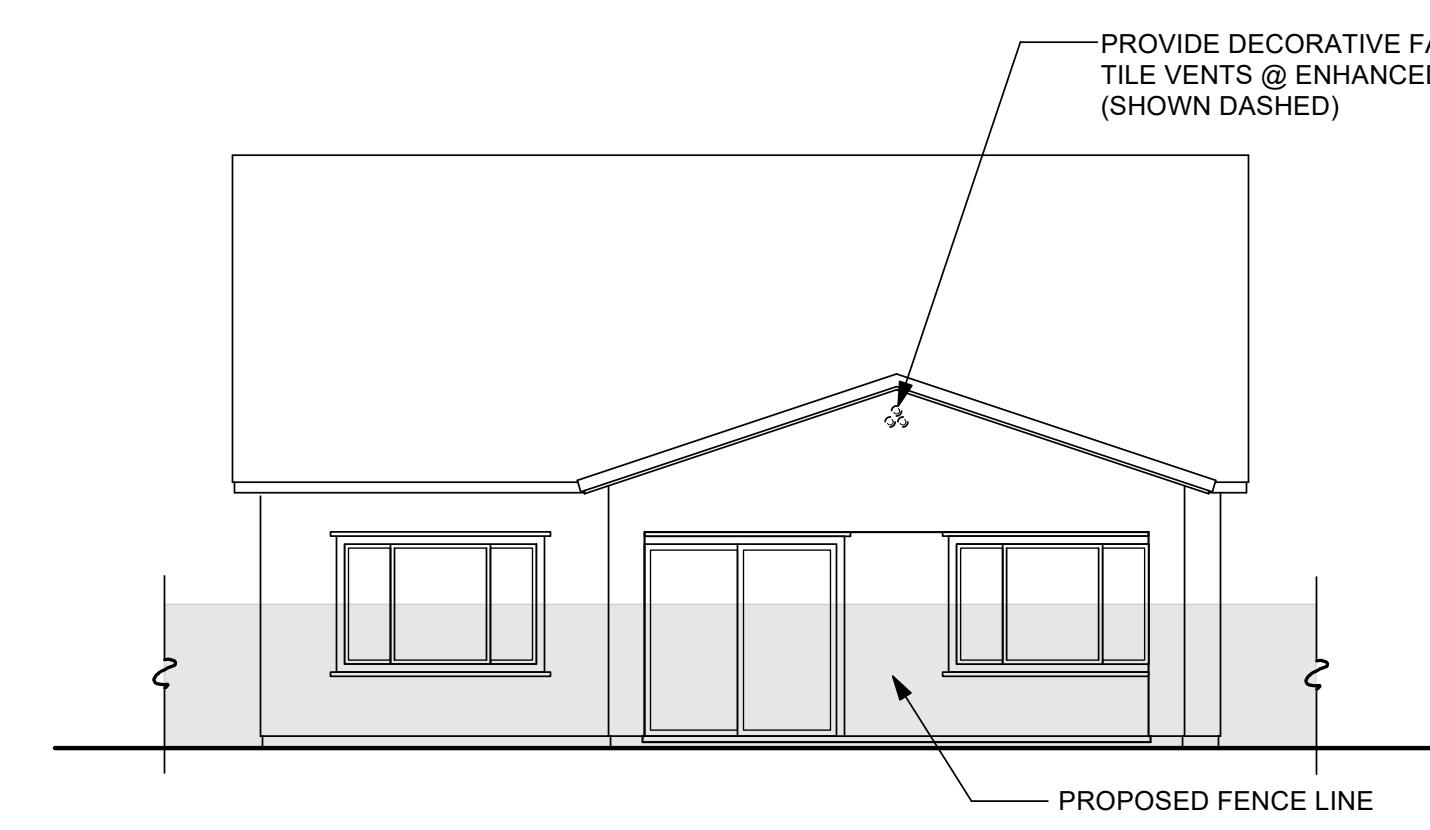
2-Car Garage



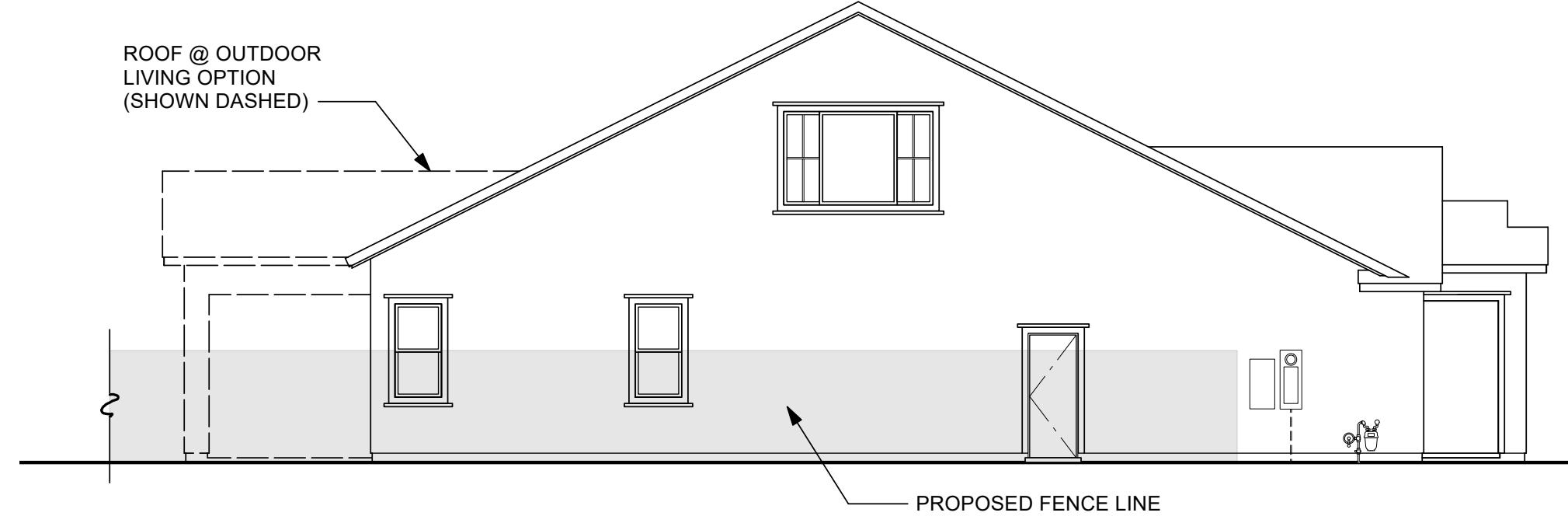
**RIGHT SIDE "A"**



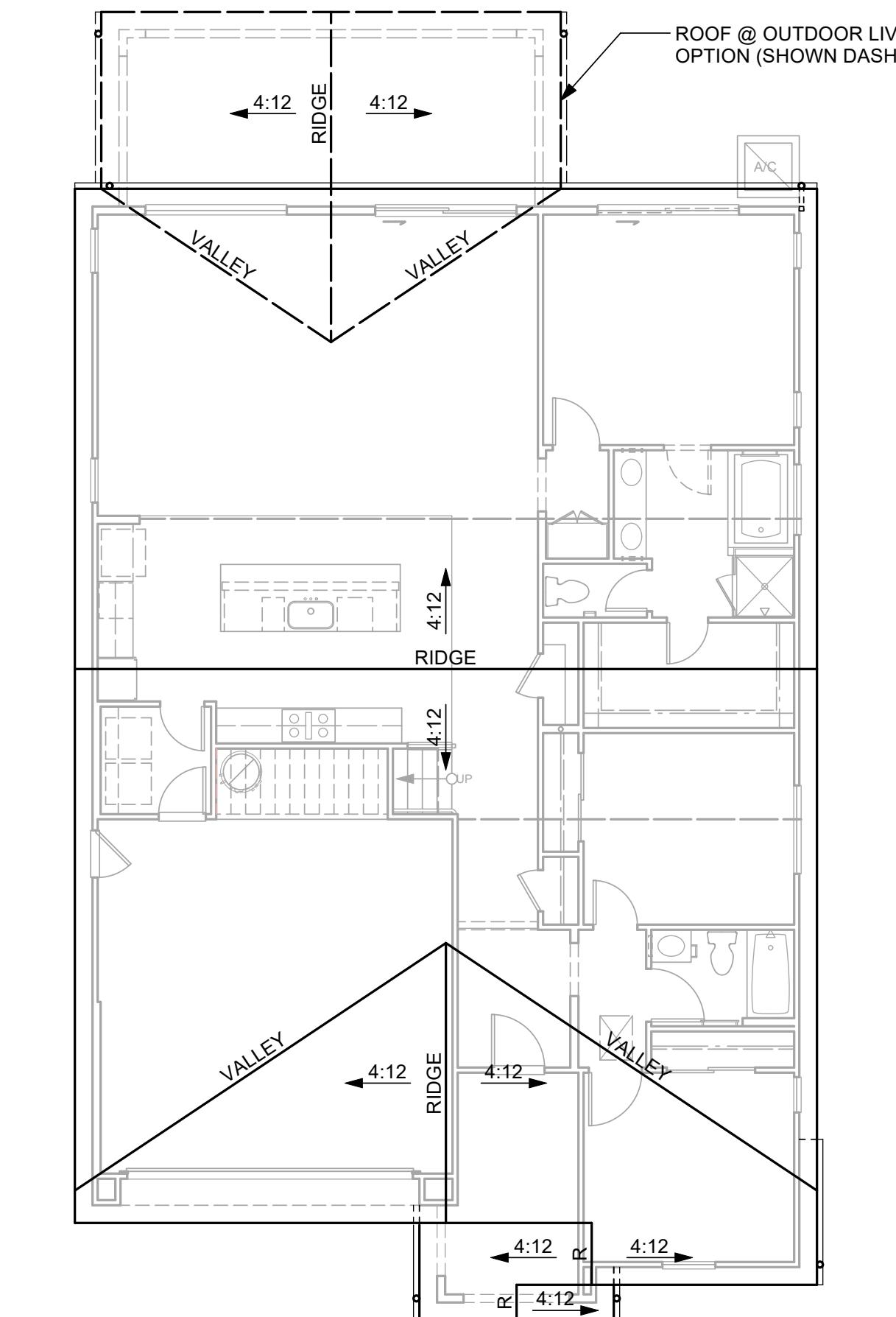
**REAR "A"**



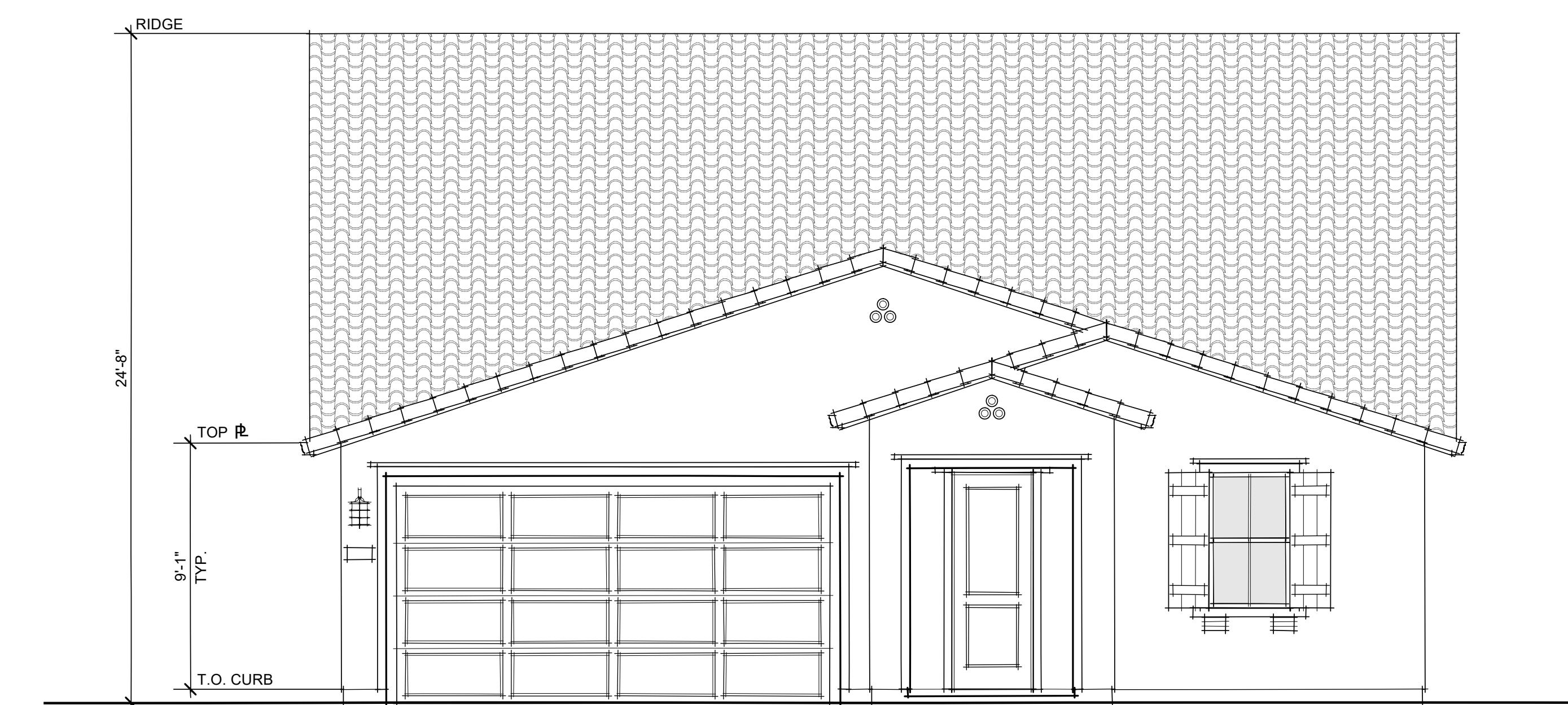
**REAR "A"**  
(OUTDOOR LIVING OPTION)



**LEFT SIDE "A"**



**ROOF PLAN "A"**



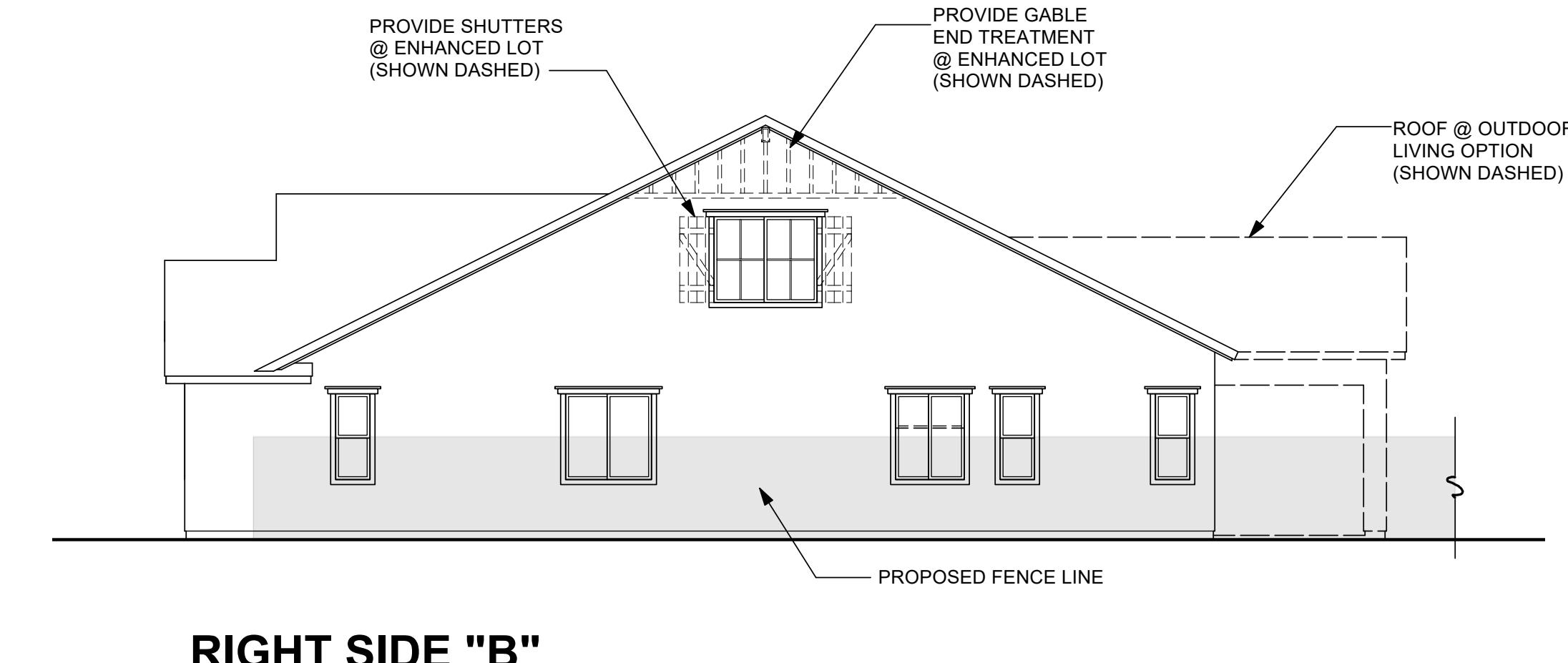
**FRONT ELEVATION "A"**  
(SPANISH)

# PLAN 1 THE BROOKS AT CREEKSIDE Antioch, California

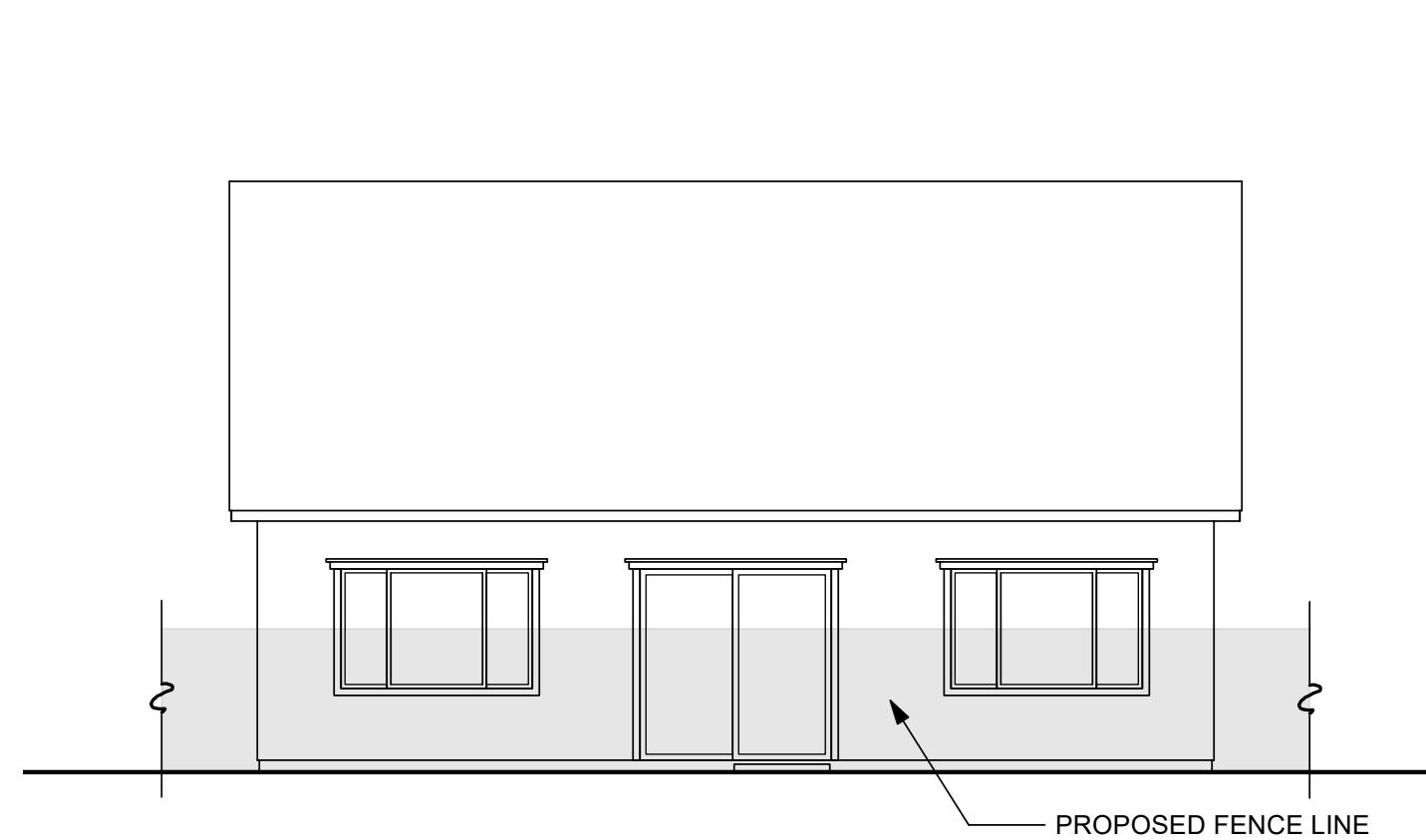
SPANISH THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>• HIP &amp; GABLE ROOFS</li> <li>• CONCRETE LOW PROFILE "S-TILE" ROOFING</li> <li>• Ogee Gutters</li> <li>• 12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>• STUCCO SIDING</li> <li>• DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>• DECORATIVE TILE VENTS (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>• STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>• WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>• THEME SPECIFIC FRONT DOORS</li> <li>• THEME SPECIFIC GARAGE DOORS</li> <li>• THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>• SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



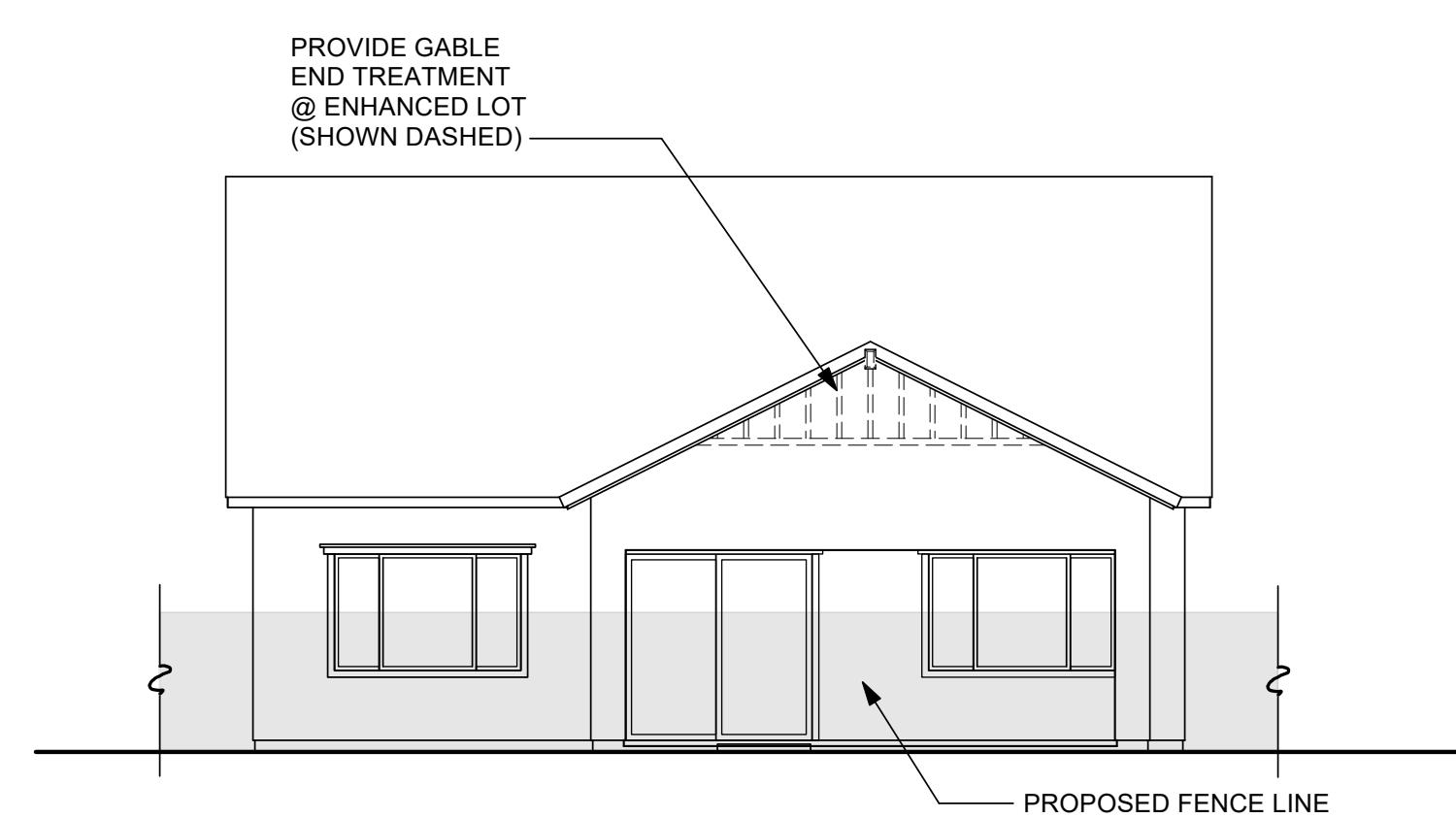
COACH LIGHT: KICHLER  
LIGHTING - MILL LANE 16" (49961AVI)



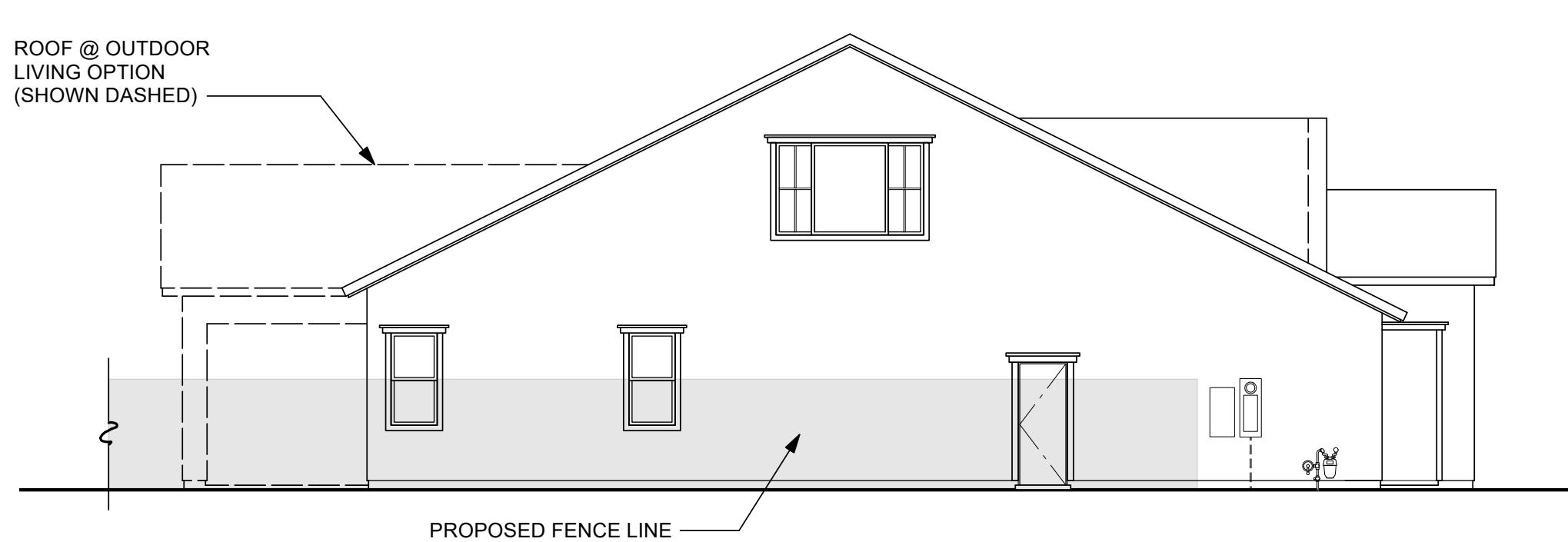
**RIGHT SIDE "B"**



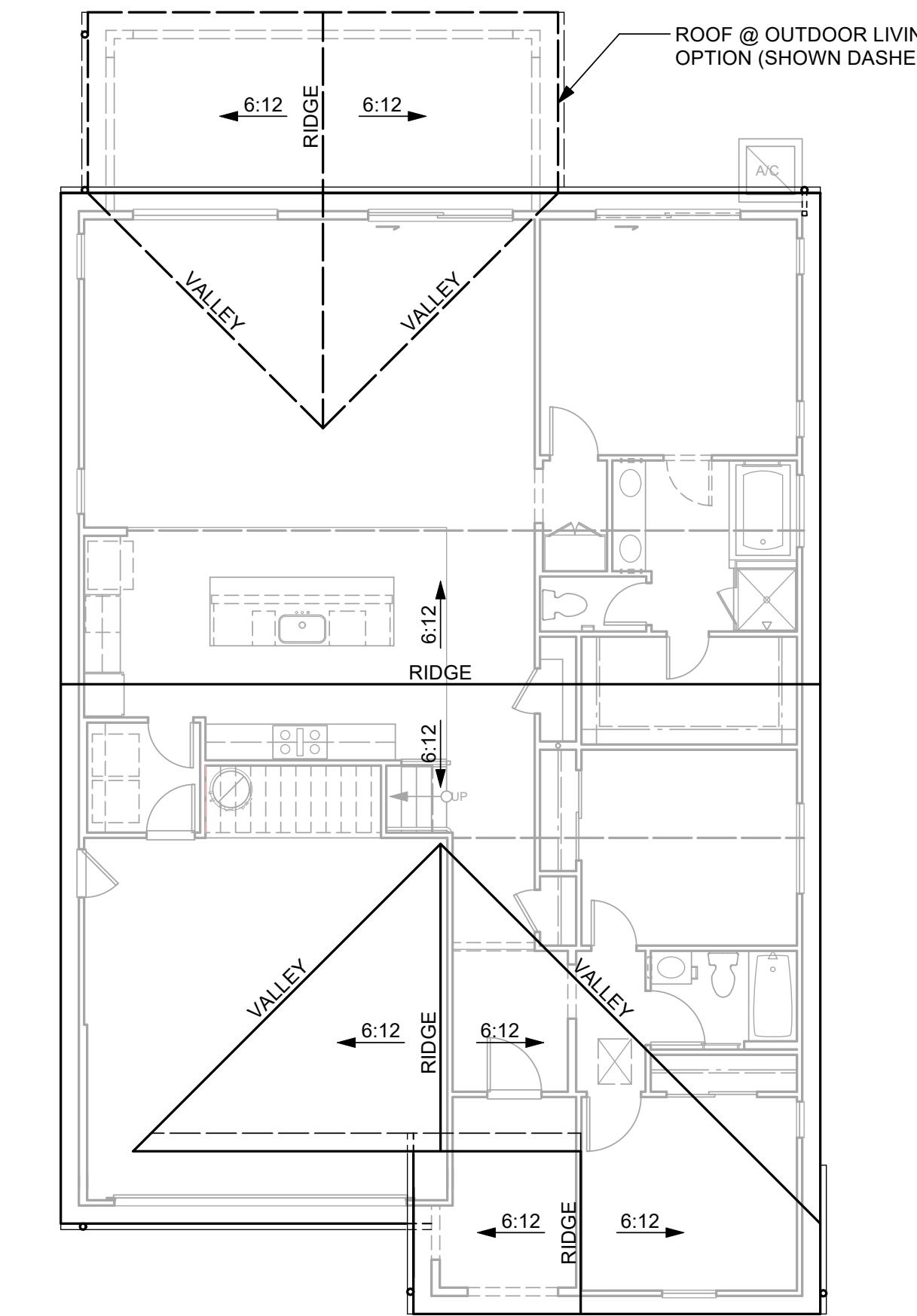
**REAR "B"**



**REAR "B"**  
(OUTDOOR LIVING OPTION)



**LEFT SIDE "B"**



**ROOF PLAN "B"**



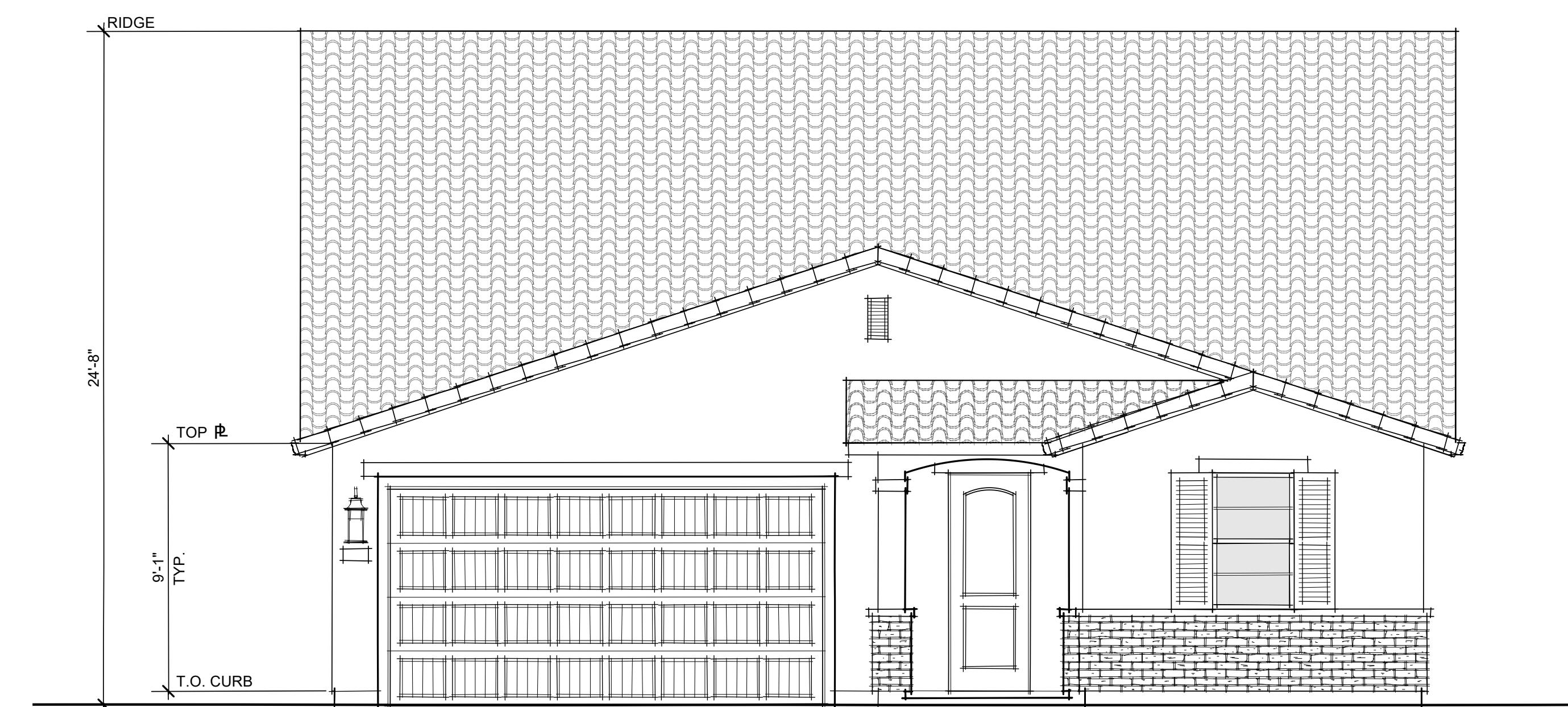
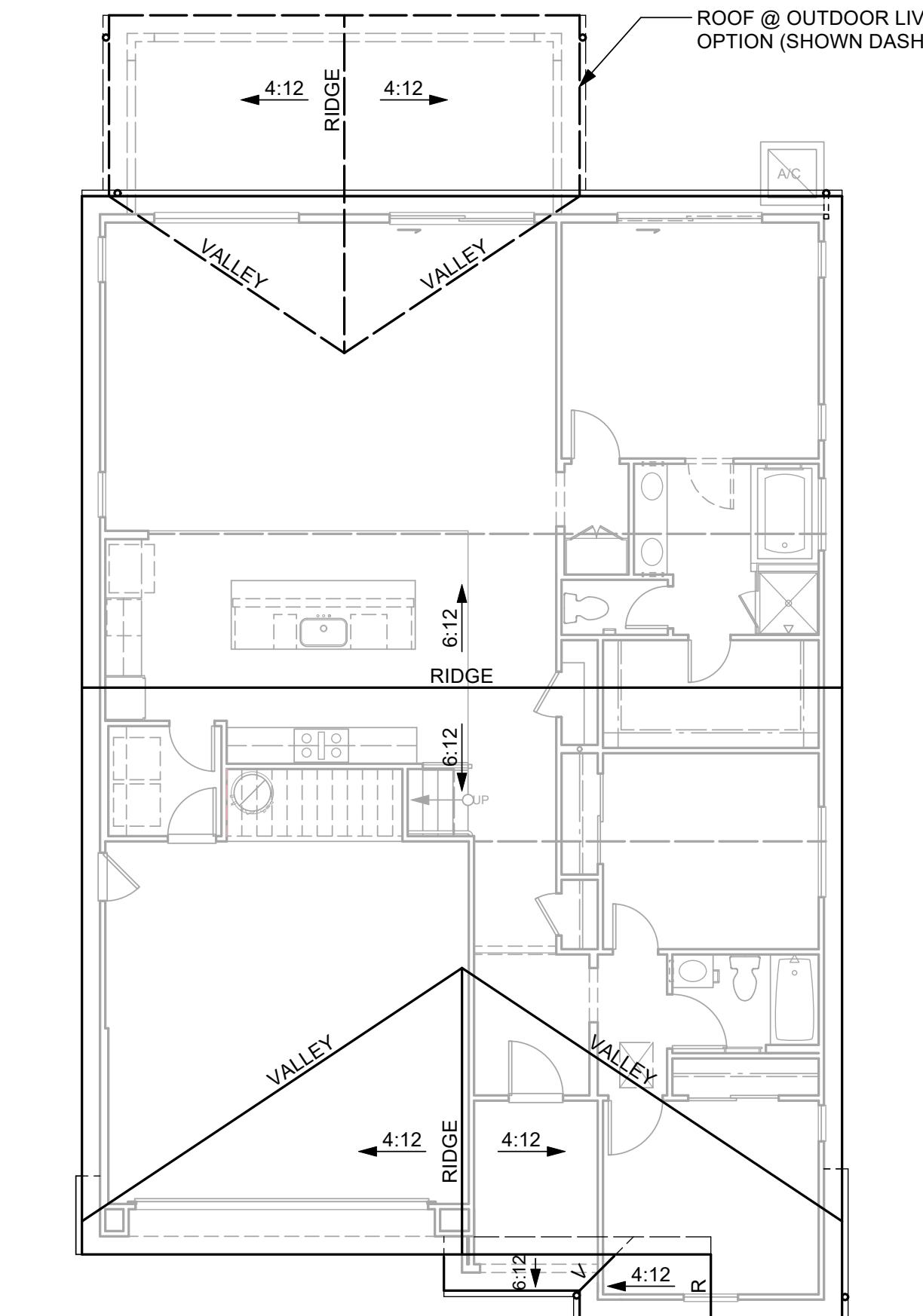
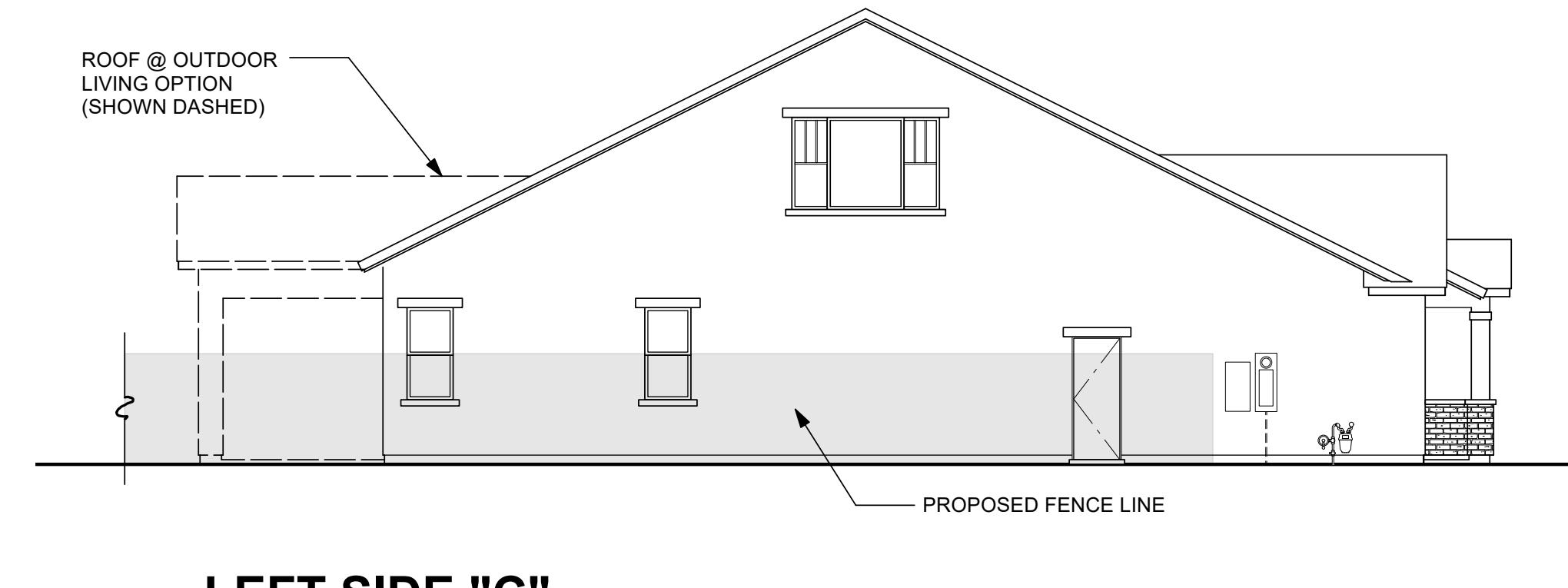
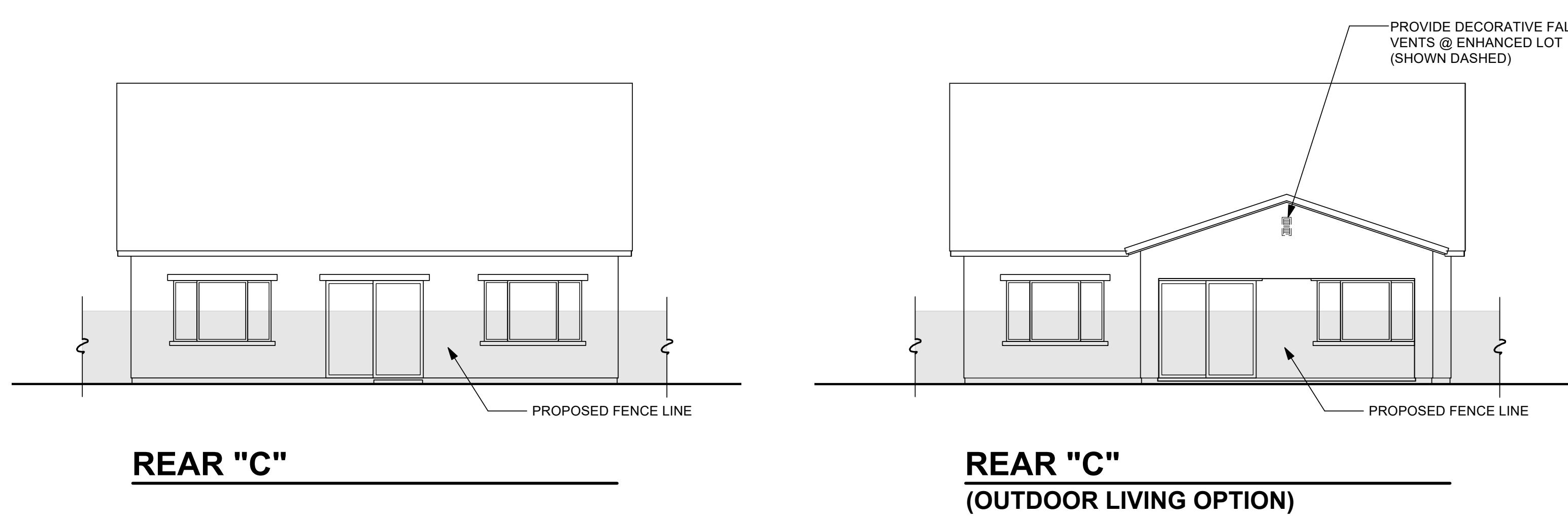
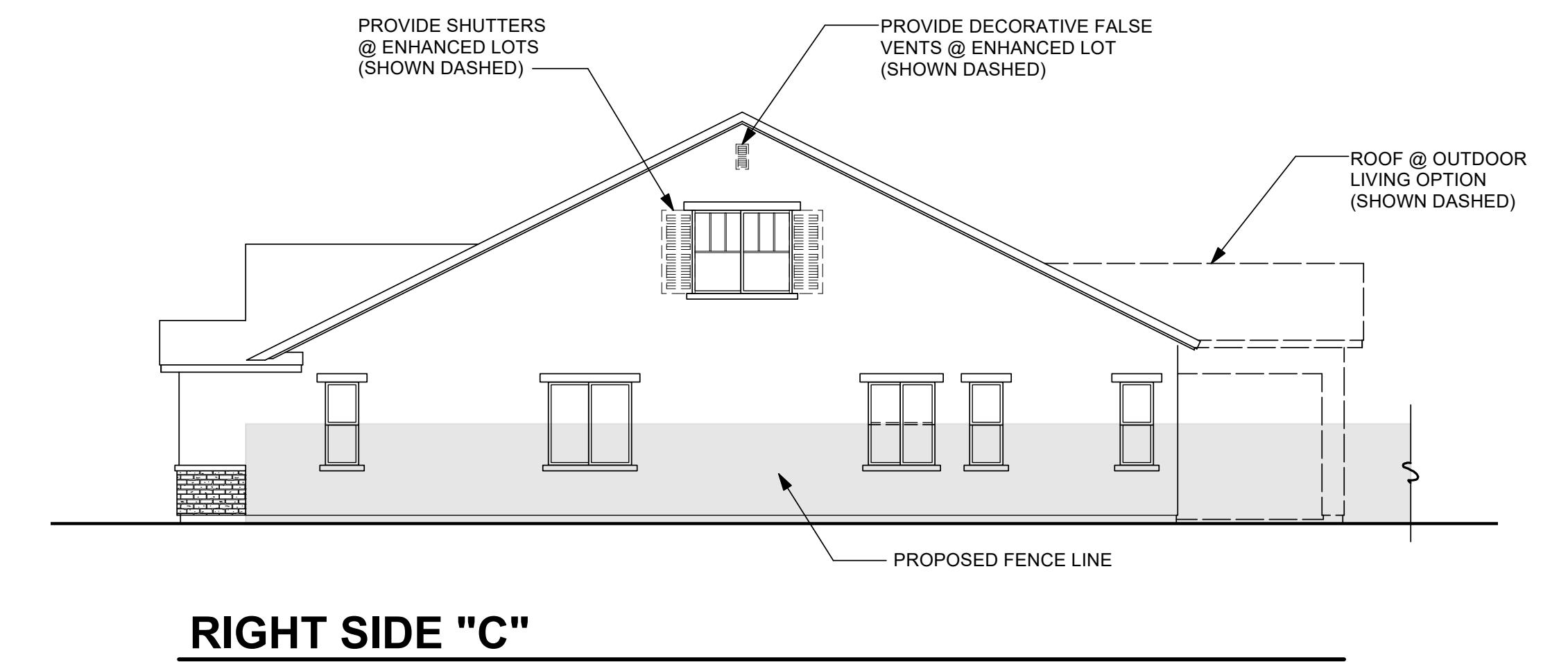
**FRONT ELEVATION "B"**  
(AMERICAN FARMHOUSE)

**PLAN 1**  
**THE BROOKS AT CREEKSIDE**  
Antioch, California

AMERICAN FARMHOUSE THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>• GABLE ROOFS</li> <li>• CONCRETE "FLAT" TILE ROOFING</li> <li>• Ogee Gutters</li> <li>• 12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>• STUCCO SIDING</li> <li>• DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>• BOARD &amp; BATT SIDING (WHERE OCCURS)</li> <li>• FOAM/WOOD BRACKET (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>• STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>• WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>• THEME SPECIFIC FRONT DOORS</li> <li>• THEME SPECIFIC GARAGE DOORS</li> <li>• THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>• SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



COACH LIGHT: VISUAL COMFORT & CO. - MEDIUM ONE LIGHT OUTDOOR WALL LANTERN 14.25" (8648401-12)



MONTEREY THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>• GABLE &amp; SHED ROOFS</li> <li>• CONCRETE LOW PROFILE "S-TILE" ROOFING</li> <li>• Ogee Gutters</li> <li>• 12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>• STUCCO SIDING</li> <li>• DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>• MASONRY BRICK VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>• STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>• WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>• ARCHED SOFFITS @ PORCH</li> <li>• FAUX VENTS</li> <li>• THEME SPECIFIC FRONT DOORS</li> <li>• THEME SPECIFIC GARAGE DOORS</li> <li>• THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>• SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



COACH LIGHT: MAXIM LIGHTING - VICKSBURG 24" (30024 CLBK)



**FRONT ELEVATION "A"**  
(SPANISH)

Scheme 2



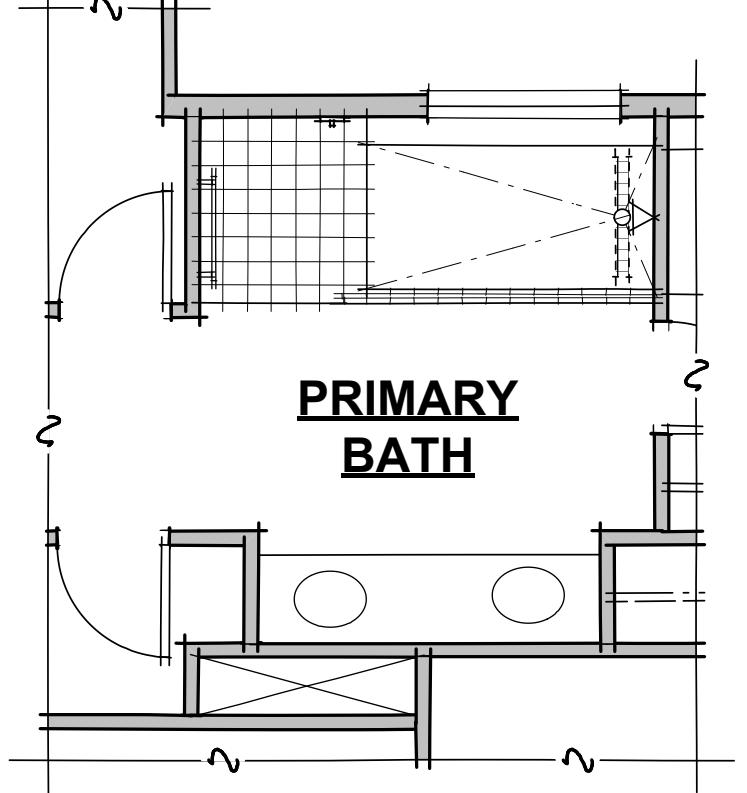
**FRONT ELEVATION "C"**  
(MONTEREY)

Scheme 9

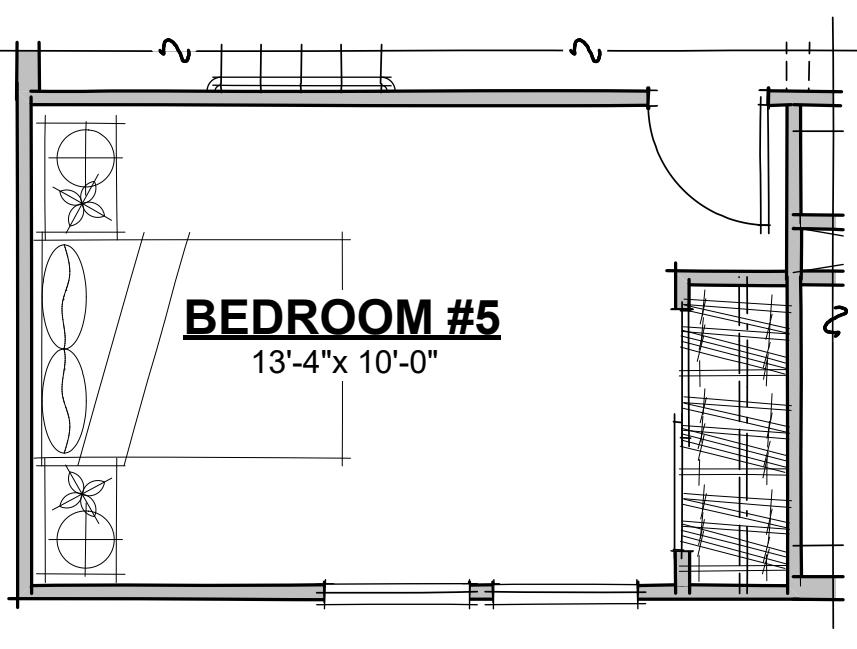


**FRONT ELEVATION "D"**  
(TUSCAN)

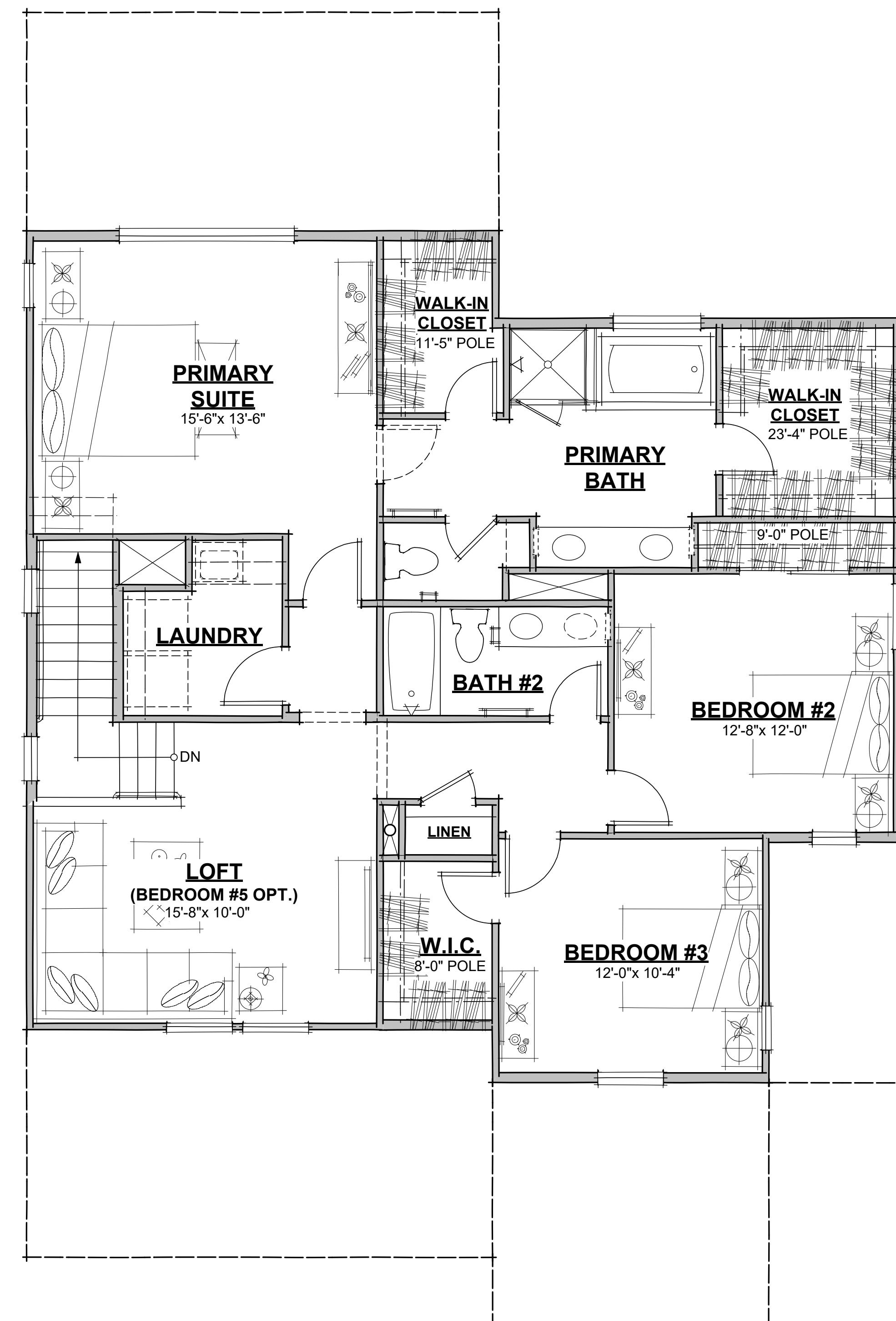
Scheme 10



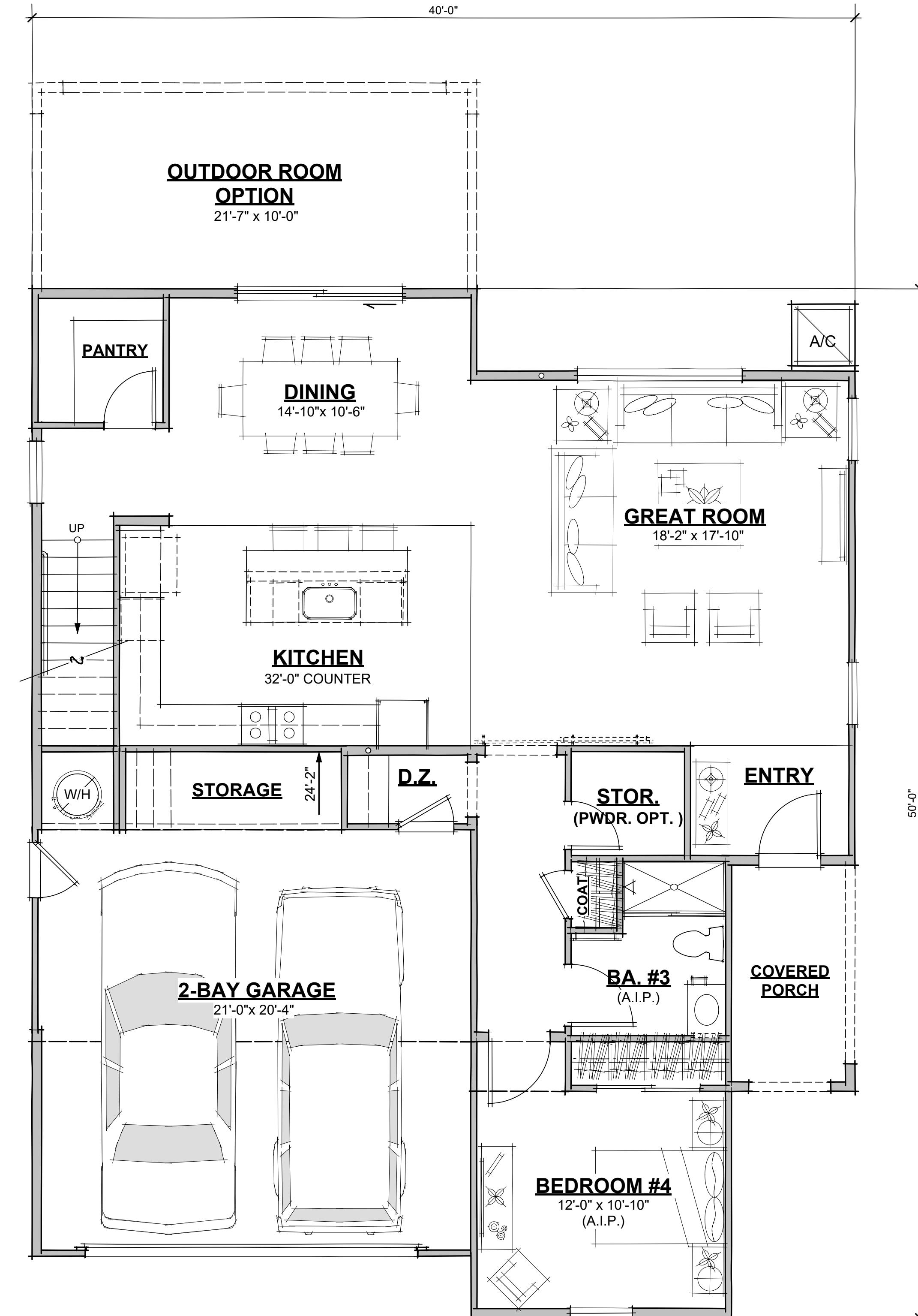
SUPER SHOWER OPTION



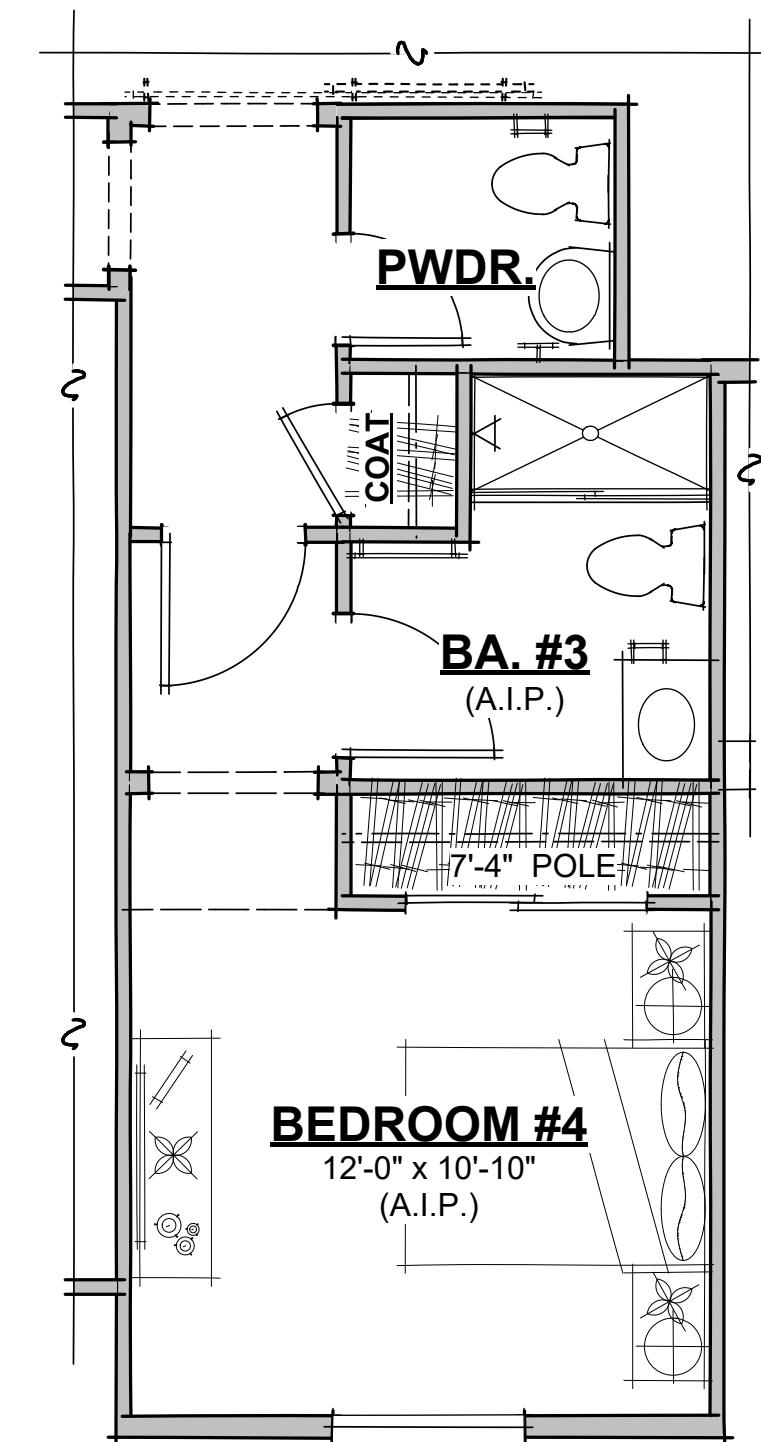
BEDROOM #5 OPTION



SECOND FLOOR PLAN (1312 SF)



FIRST FLOOR PLAN (1257 SF)



SUITE W/ POWDER  
OPTION

50'x90'

## PLAN 2

2569 SF

4 Bdrm | 3 Bath | Loft

Powder Opt | Suite Opt.

Bdrm 5 Opt

2-Car Garage



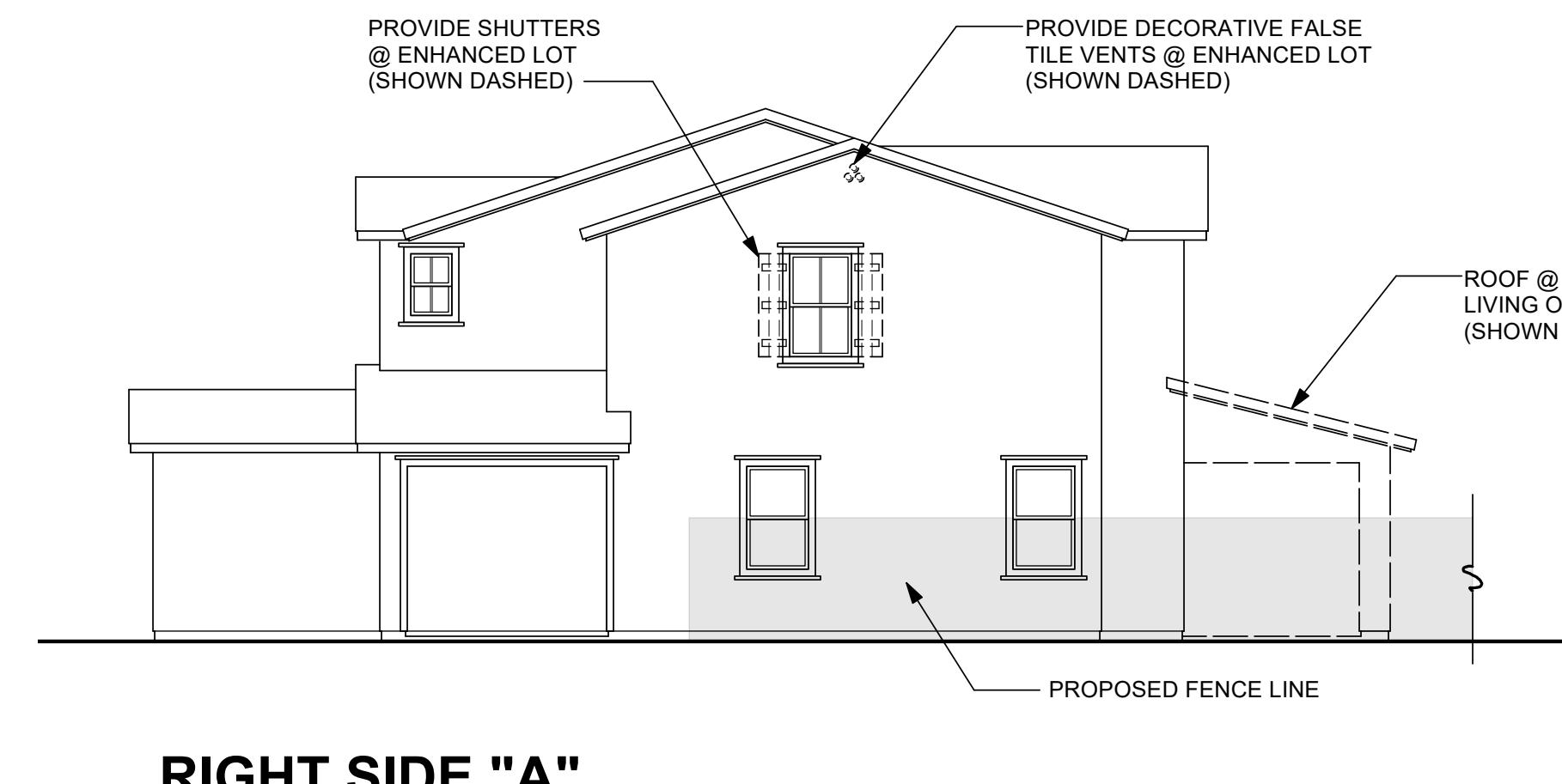
938 Tyler Street #101  
Benicia, CA 94510  
Phone: (707) 746-6586

2428 12-06-24

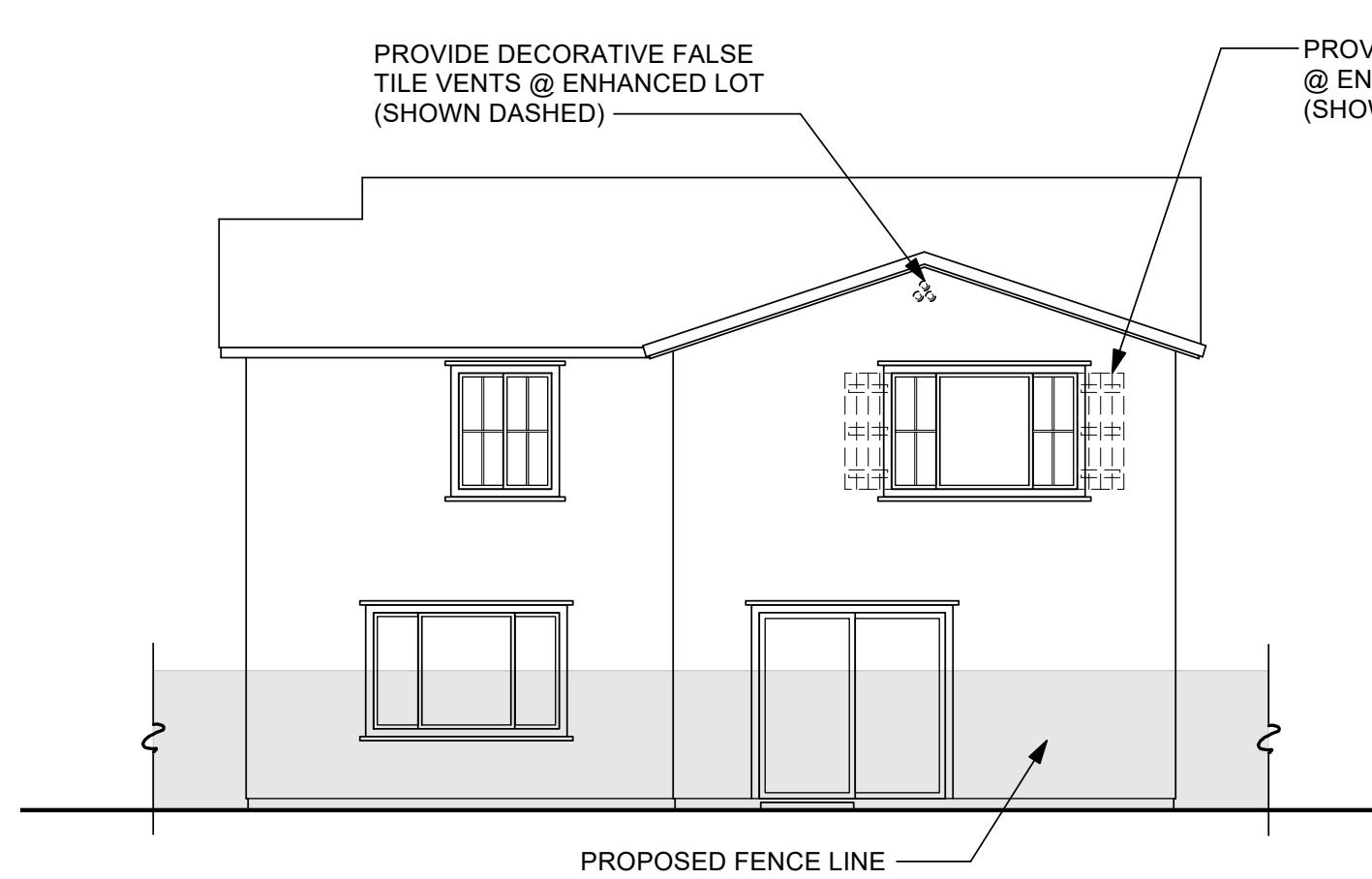
SHEET A7

tri pointe<sup>®</sup>  
HOMES

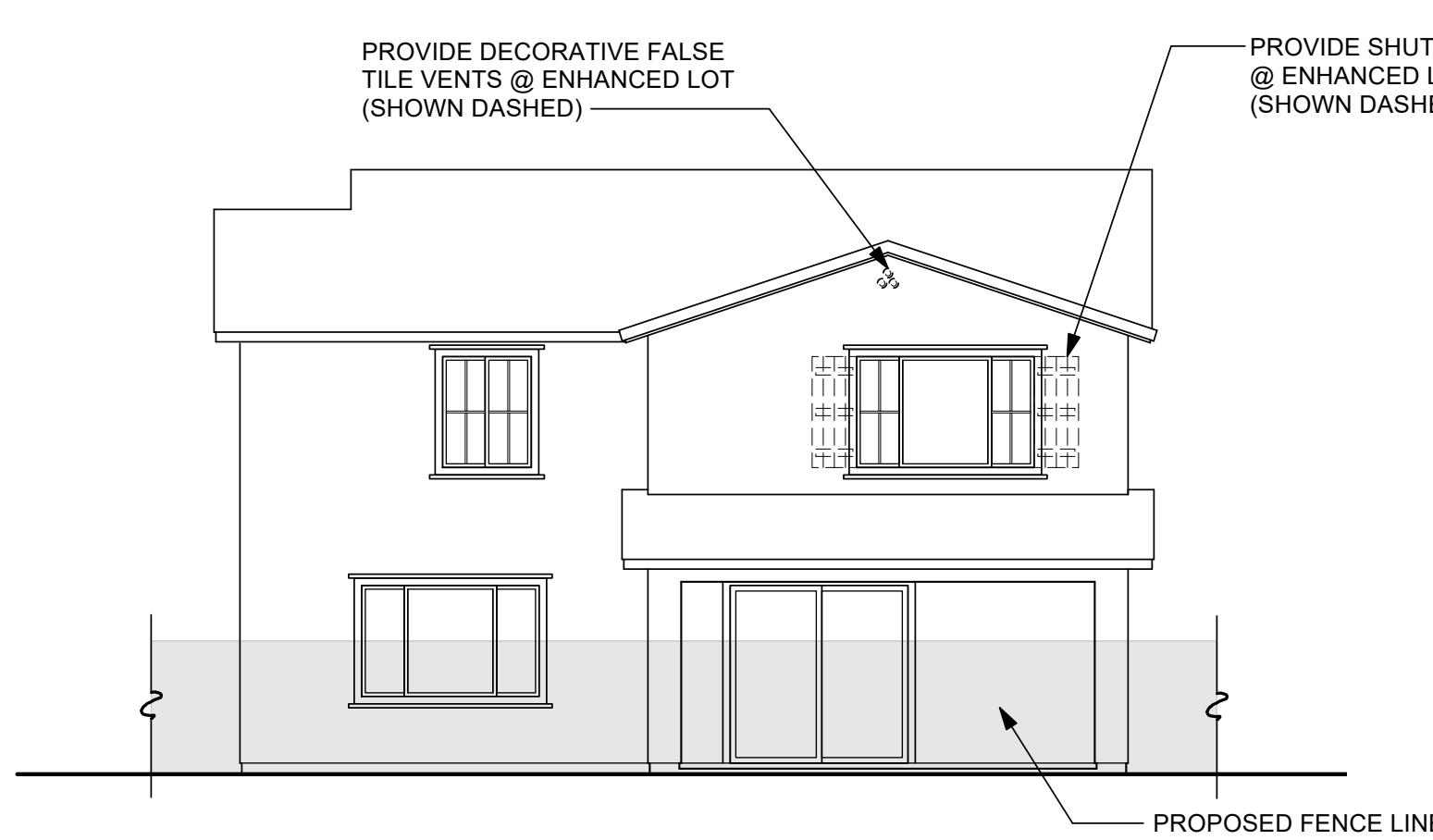
PLAN 2 (240-2569)  
**THE BROOKS AT CREEKSIDE**  
Antioch, California



# **RIGHT SIDE "A"**



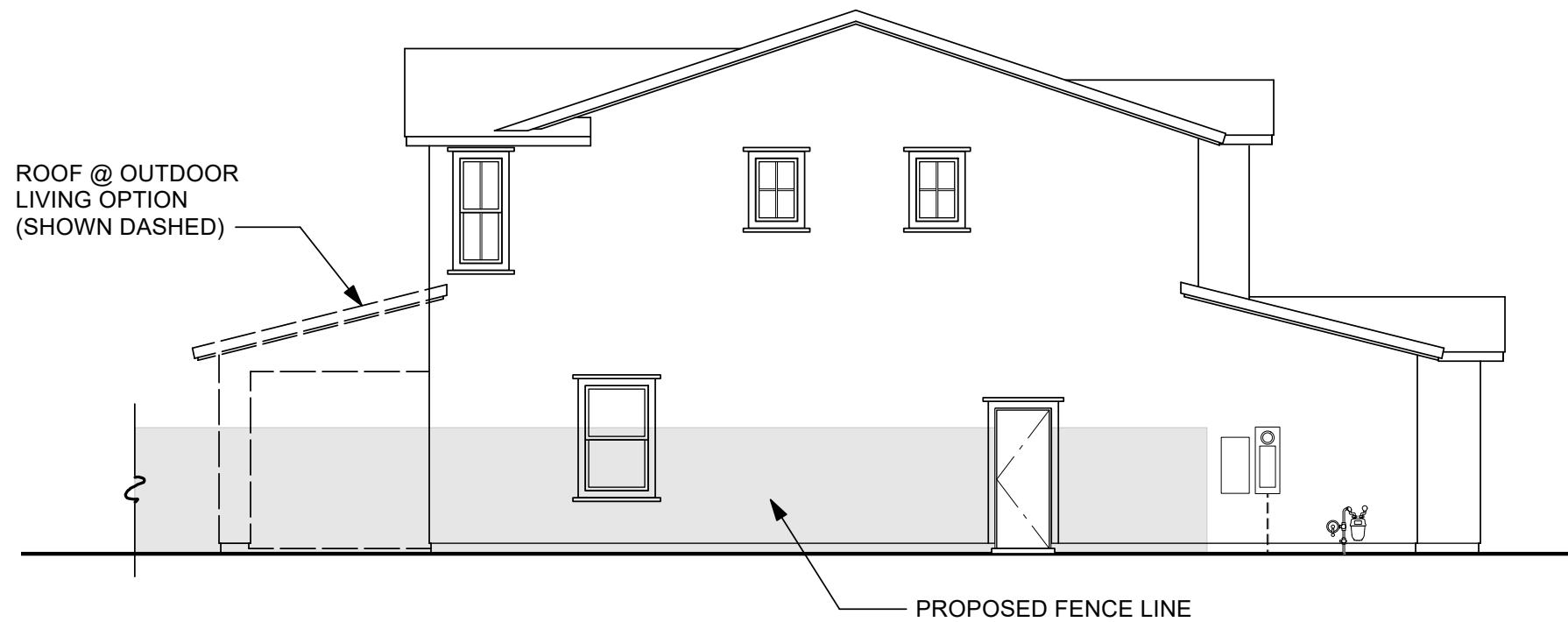
**REAR "A"**



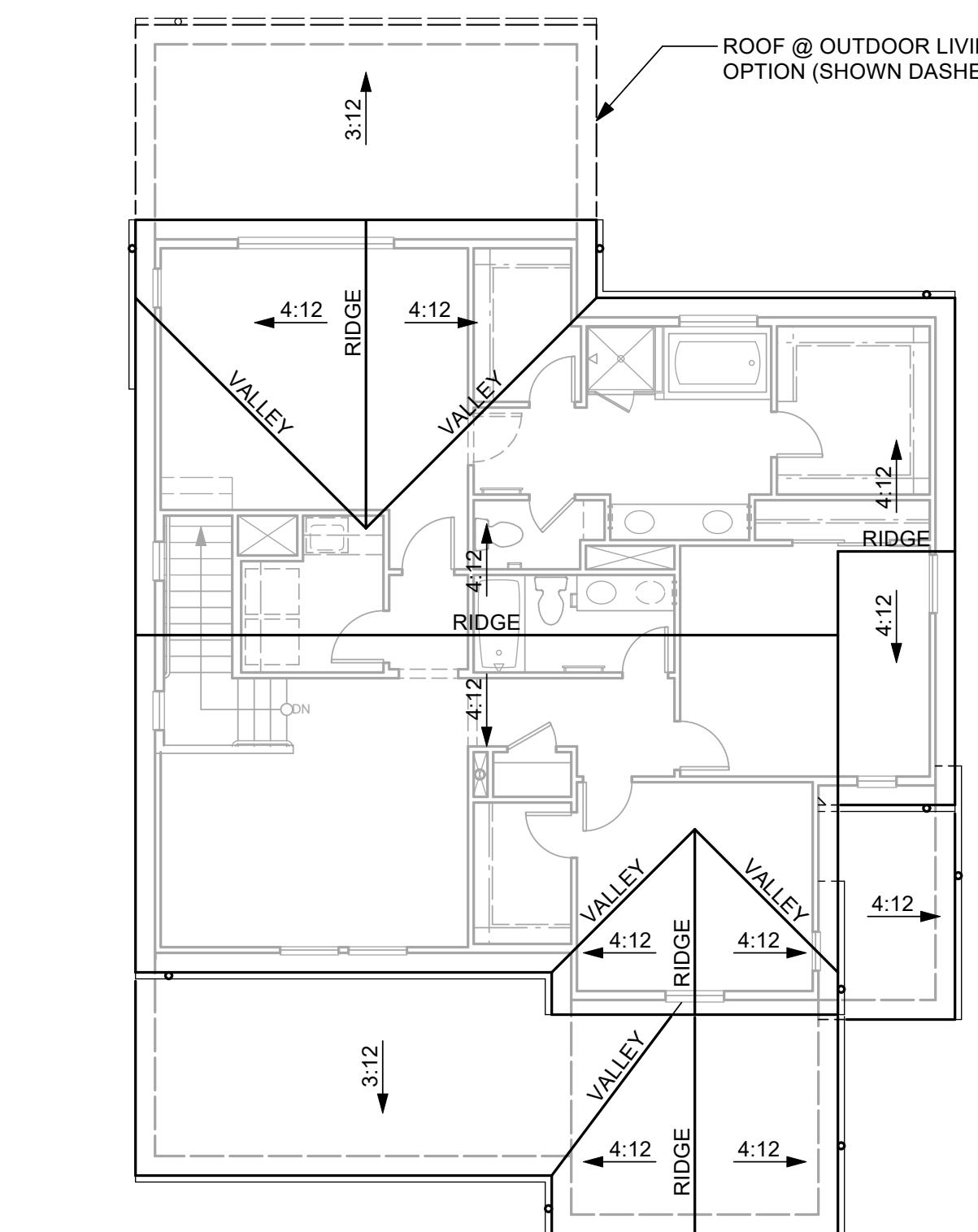
# **REAR "A"**

---

## **(OUTDOOR LIVING OPTION)**



## **LEFT SIDE "A"**



## **ROOF PLAN "A"**

# SPANISH THEME CHARACTERISTICS

ROOF

- HIP & GABLE ROOFS
  - CONCRETE LOW PROFILE "S-TILE" ROOFING
  - OGEE GUTTERS
  - 12" OVERHANGS, TYP. (U.O.N.)

## **EXTERIOR MATERIALS**

- STUCCO SIDING
  - DECORATIVE FOAM SHUTTERS  
(WHERE OCCURS)
  - DECORATIVE TILE VENTS (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM

## **FEATURES**

- WINDOW GRIDS STANDARD @ RIGHT SIDE & REAR ELEVATIONS
  - THEME SPECIFIC FRONT DOORS
  - THEME SPECIFIC GARAGE DOORS
  - THEME SPECIFIC COACH LIGHTS

## **ENHANCED ELEVATIONS**

- SIDE & REAR ELEVATIONS OF HOMES ALONG SENSITIVE & PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN



COACH LIGHT: KICHLER  
LIGHTING - MILL LANE 16" (49961AVI)



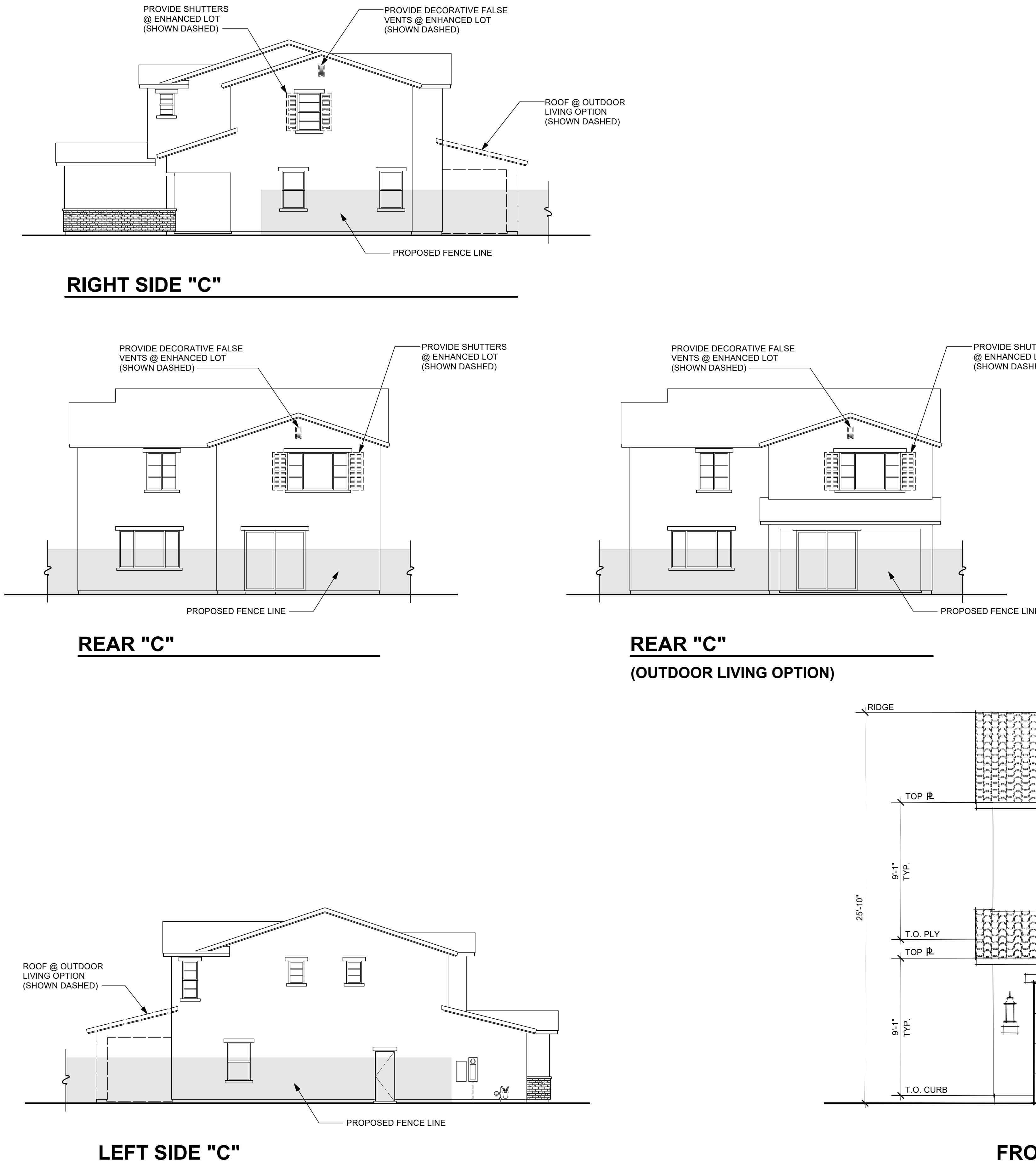
# FRONT ELEVATION "A"

## (SPANISH)

**PLAN 2**

**THE BROOKS AT CREEKSIDE**

**Antioch, California**



This architectural floor plan illustrates various roof slope options for an outdoor living area. The plan shows a main house structure with multiple levels and rooms, including a kitchen, dining, living areas, and bedrooms. An attached garage is also shown. A dashed rectangular outline represents the footprint of the outdoor living area. Key features include:

- Roof Slope Options:** The plan indicates several roof slopes:
  - A primary slope of **3:12** is shown for the main roof section.
  - 4:12** slopes are used for the valleys and ridges of the main roof and for the roof of the attached garage.
  - UP** arrows indicate the direction of roof runoff.
- Outdoor Living Area:** The dashed rectangular area represents the footprint of an outdoor living space, which includes a deck and a patio area.
- Stairs:** Stairs are indicated with a winding arrow and an "UP" arrow.
- AC:** An air conditioning unit is shown in the garage area.

# MONTEREY THEME CHARACTERISTICS

- ## ROOF

  - GABLE & SHED ROOFS
  - CONCRETE LOW PROFILE "S-TILE" ROOFING
  - OGEE GUTTERS
  - 12" OVERHANGS, TYP. (U.O.N.)

- ## **EXTERIOR MATERIALS**

  - STUCCO SIDING
  - DECORATIVE FOAM SHUTTERS  
(WHERE OCCURS)
  - MASONRY BRICK VENEER (WHERE OCCURS)

- ## TRIM

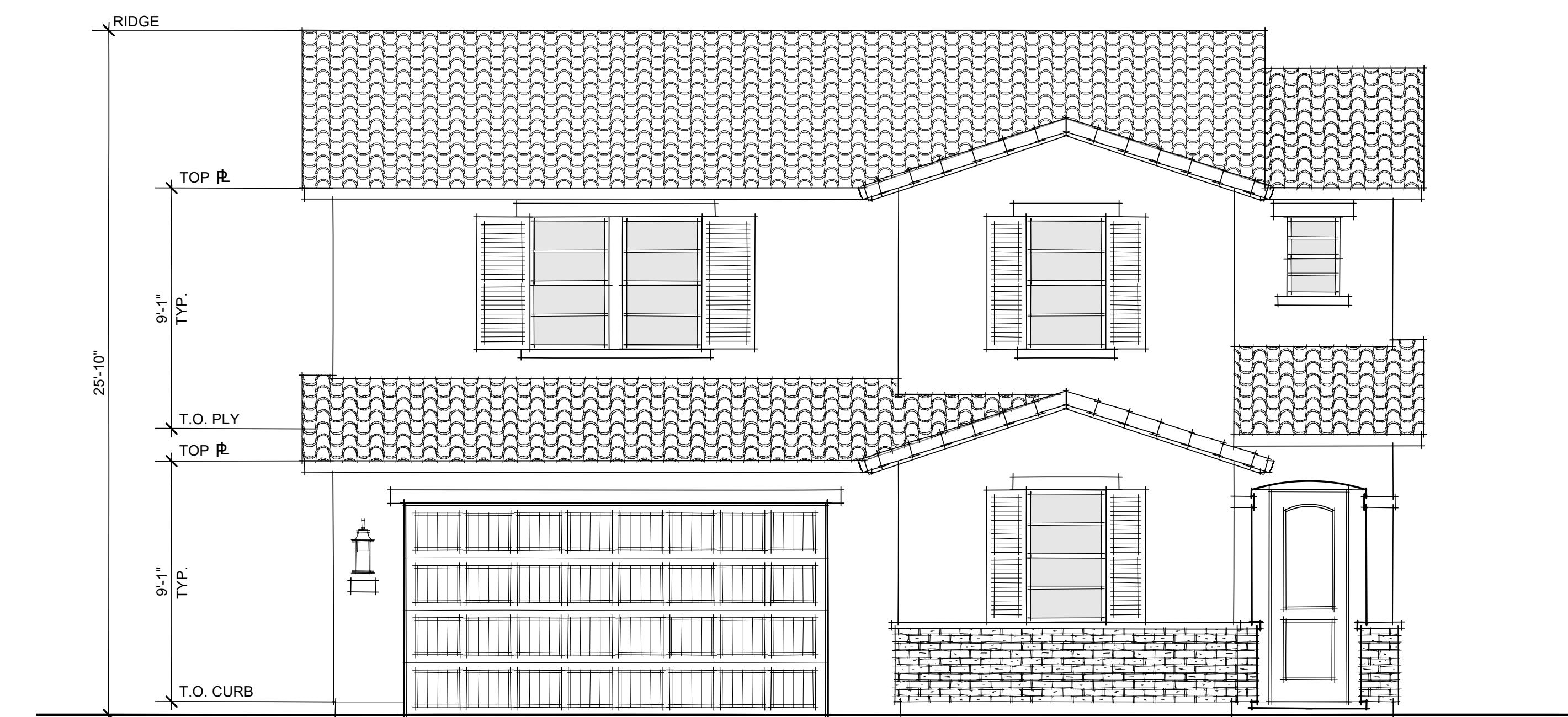
- ## **FEATURES**

  - WINDOW GRIDS STANDARD @ RIGHT SIDE & REAR ELEVATIONS
  - ARCHED SOFFITS @ PORCH
  - FAUX VENTS
  - THEME SPECIFIC FRONT DOORS
  - THEME SPECIFIC GARAGE DOORS
  - THEME SPECIFIC COACH LIGHTS

## **ENHANCED ELEVATIONS**



**COACH LIGHT: MAXIM LIGHTING - VICKSBURG 24" (30024 CLBK)**



# **FRONT ELEVATION "C"**

## **(MONTEREY)**

**PLAN 2**

**THE BROOKS AT CREEKSIDE**

**Antioch, California**

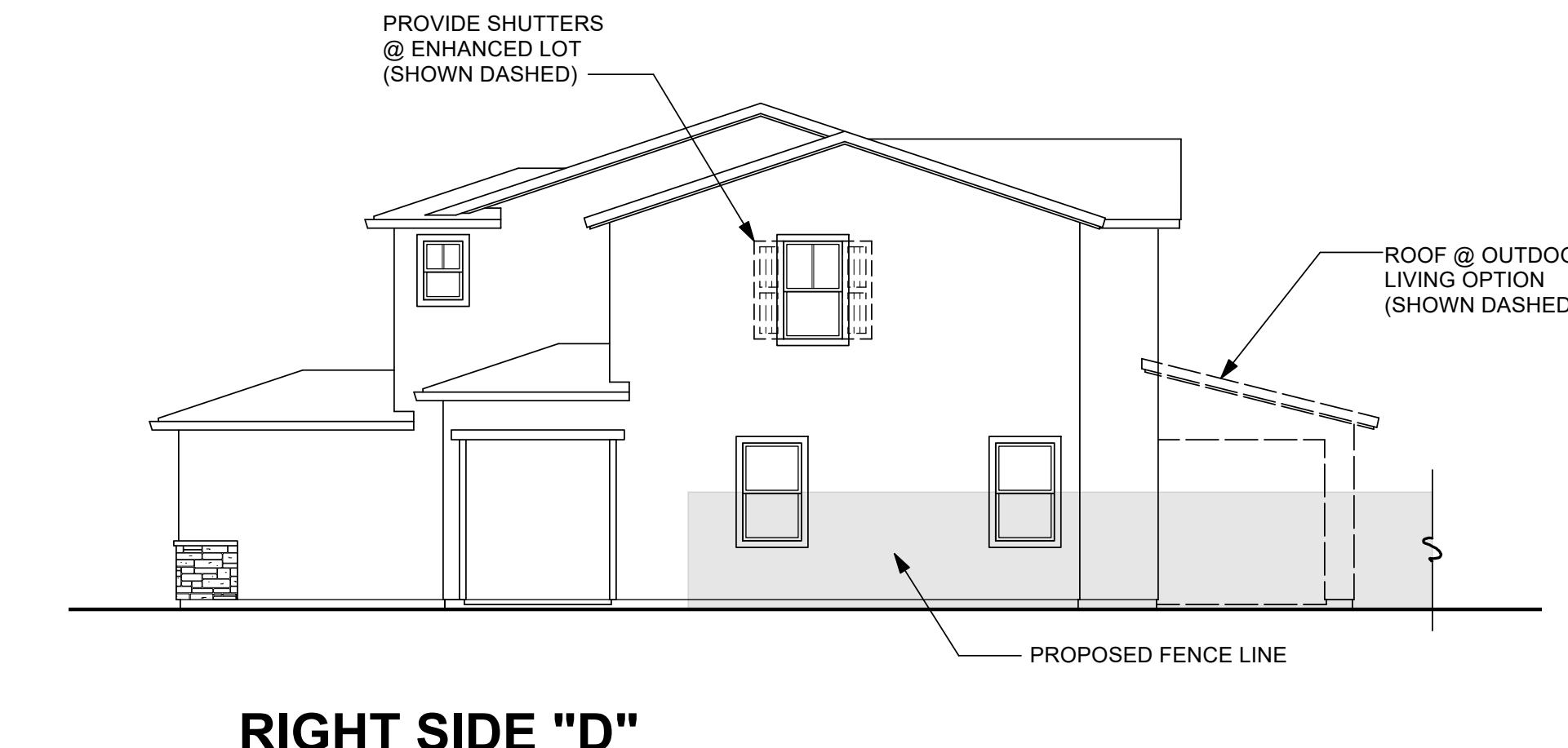
**tri pointe<sup>®</sup>**  
HOMES

**938 Tyler Street #101  
Benicia, CA 94510  
Phone: (707) 746-6586**

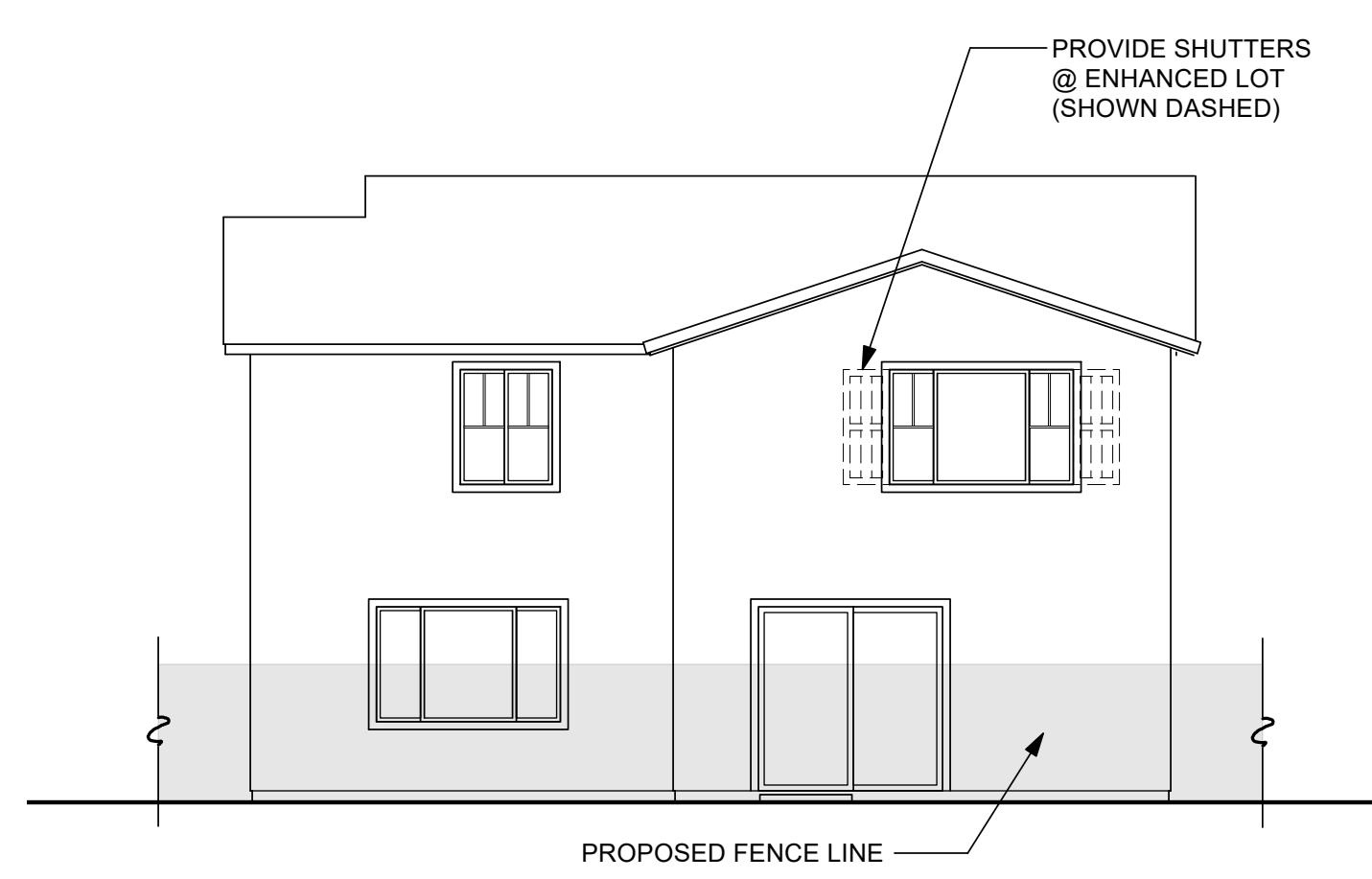
OAG  
ARCHITECTS

SHEET A-9

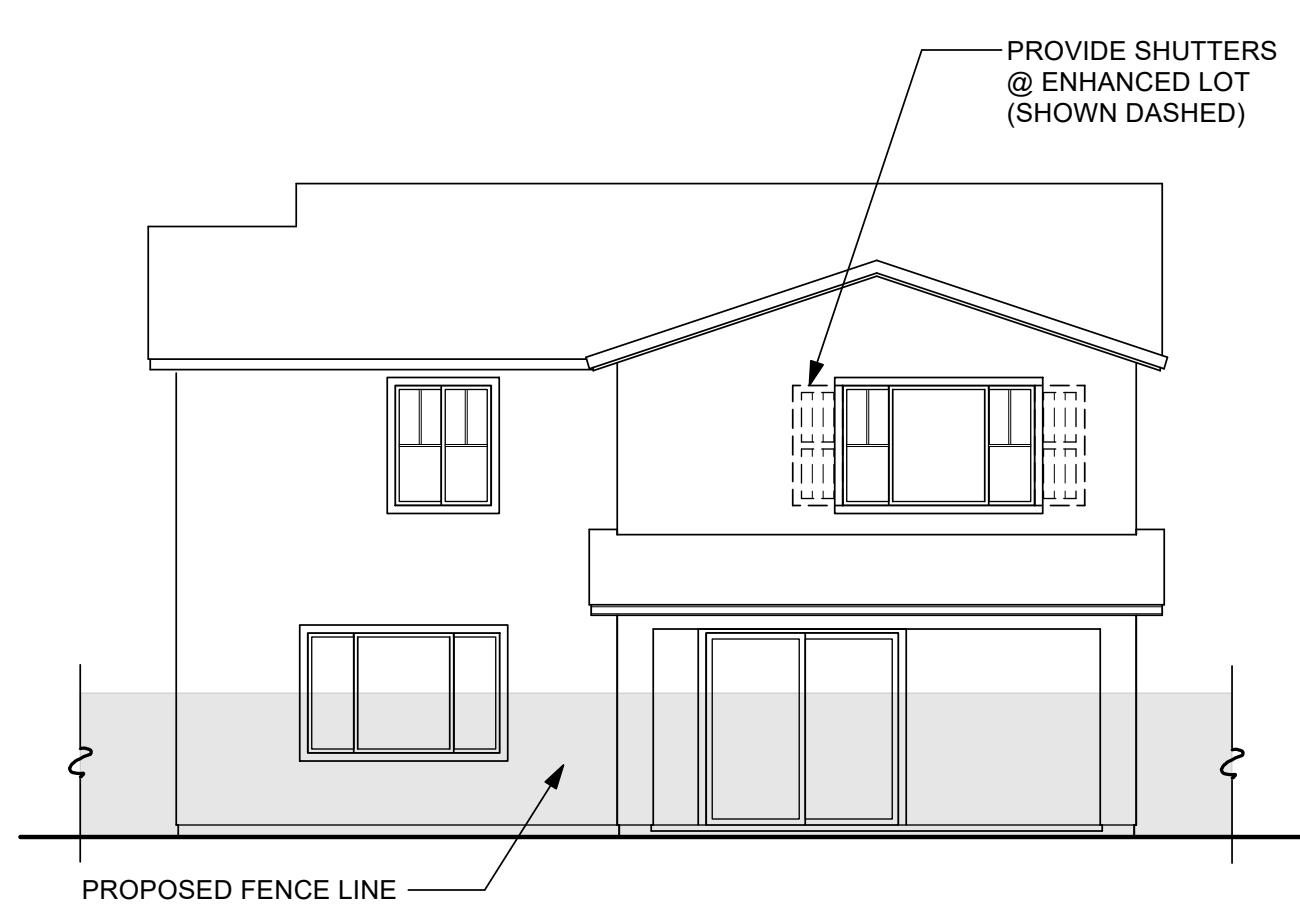
B34



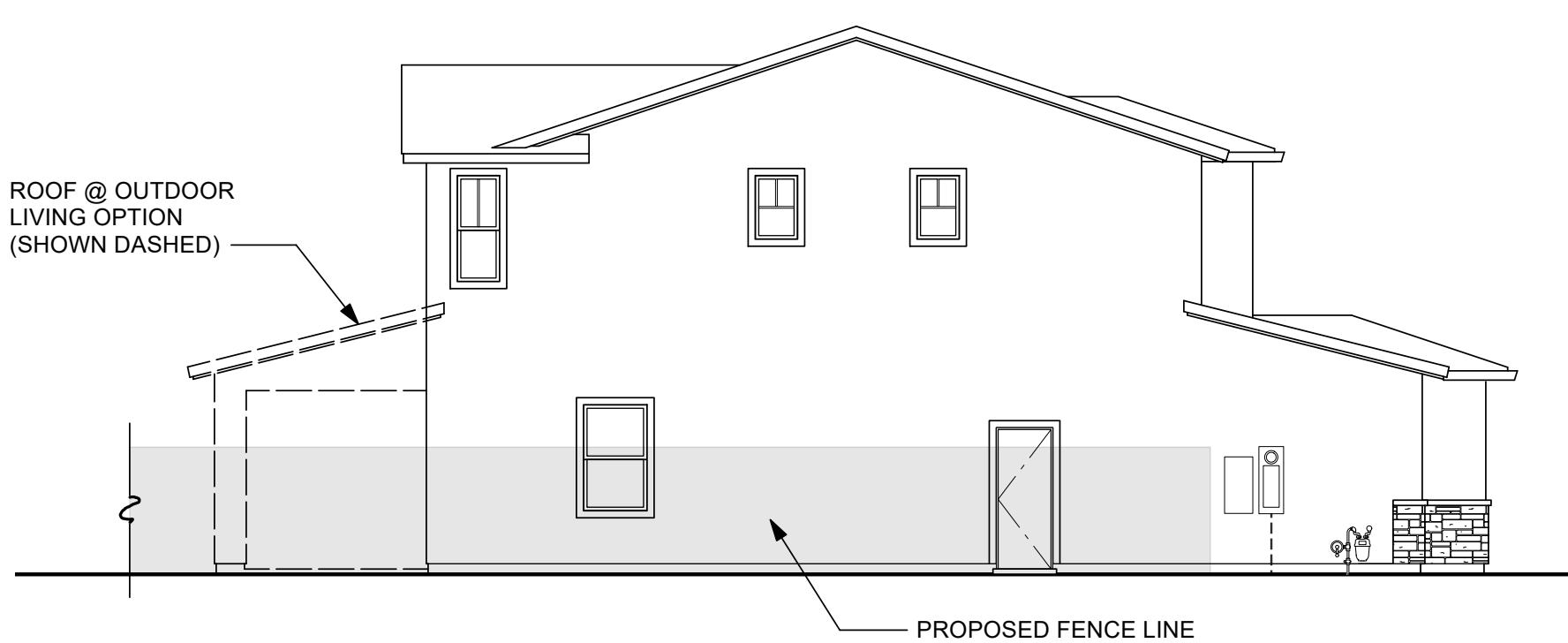
**RIGHT SIDE "D"**



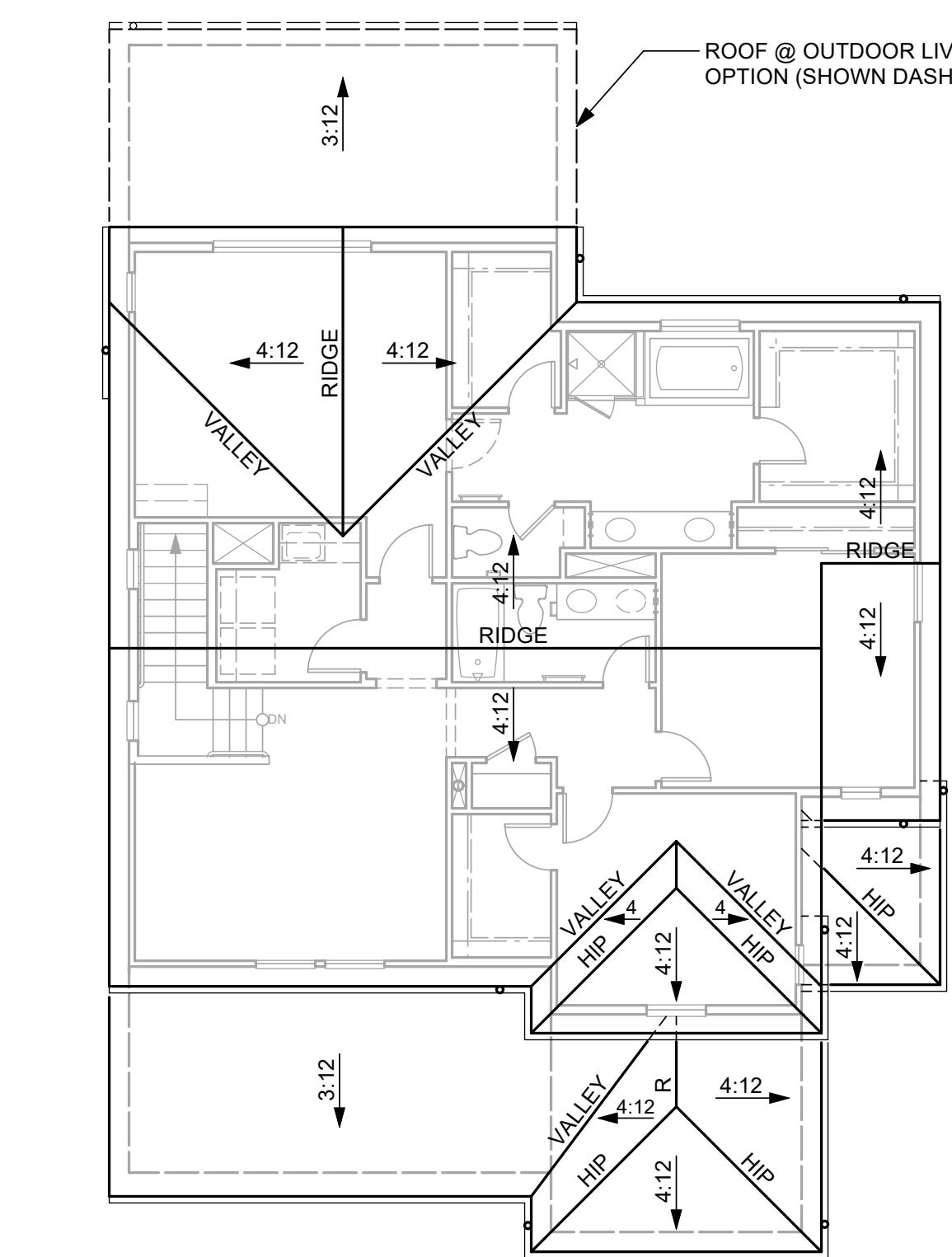
**REAR "D"**



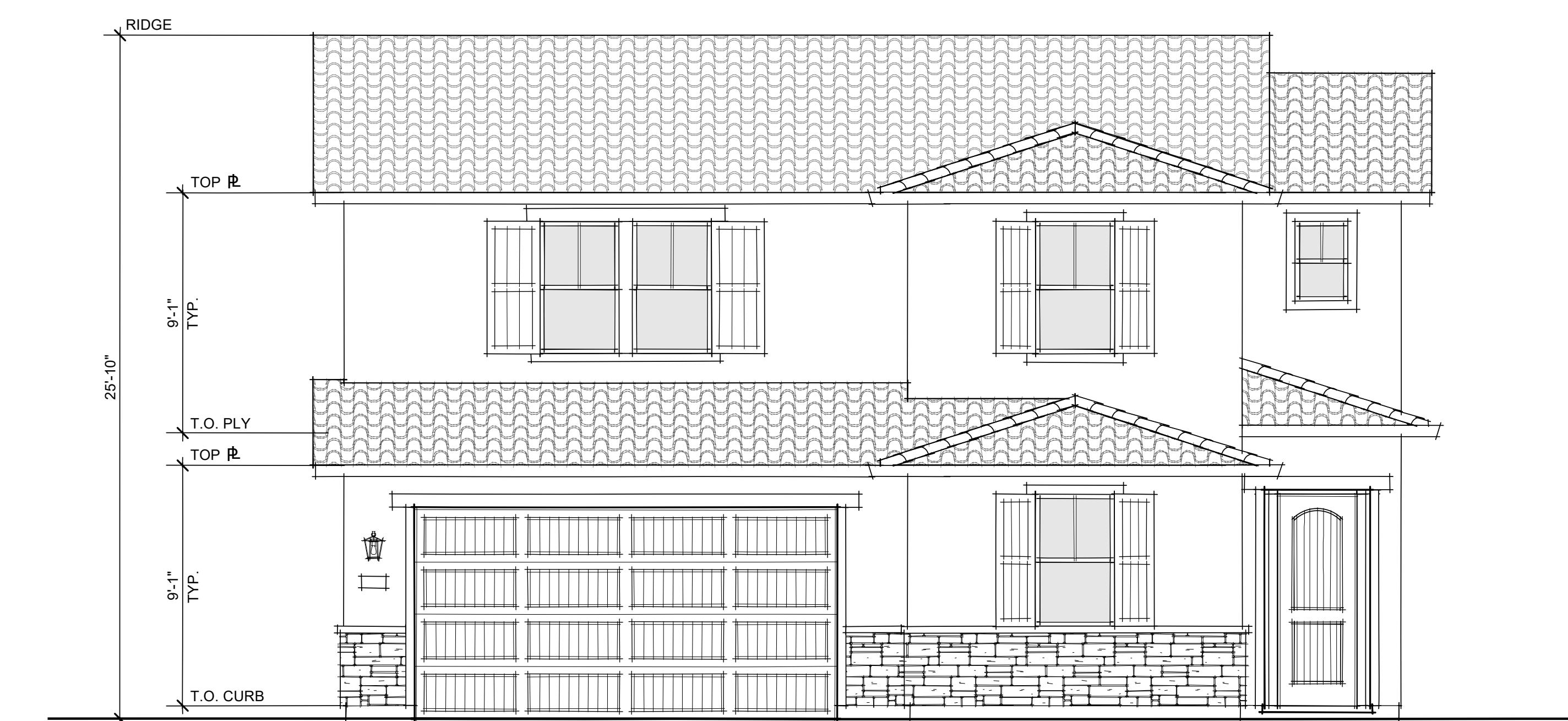
**REAR "D"**  
(OUTDOOR LIVING OPTION)



**LEFT SIDE "D"**



**ROOF PLAN "D"**



**FRONT ELEVATION "D"**  
(TUSCAN)

TUSCAN THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>HIP &amp; GABLE ROOFS</li> <li>CONCRETE LOW PROFILE "S-TILE" ROOFING</li> <li>OGEET GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>MASONRY STONE VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>THEME SPECIFIC FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> <li>THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



COACH LIGHT: MAXIM LIGHTING - ARTISAN 12.25" (3173CLBK)



**FRONT ELEVATION "A"**  
(SPANISH)

Scheme 1



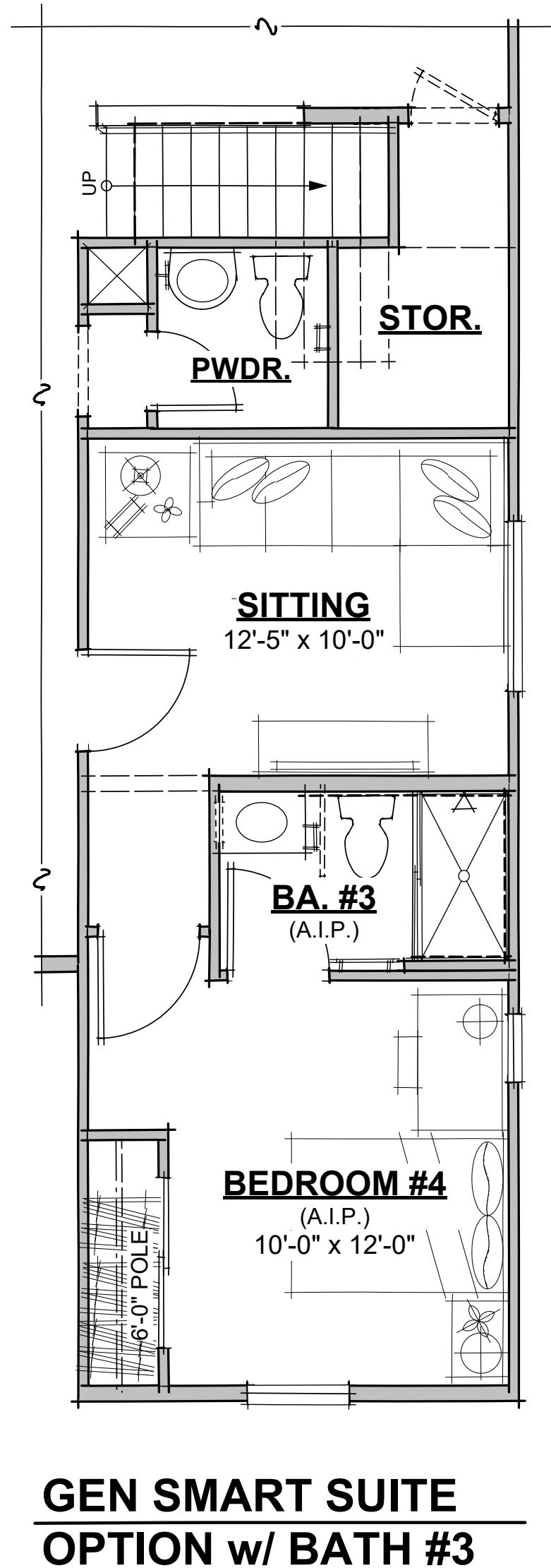
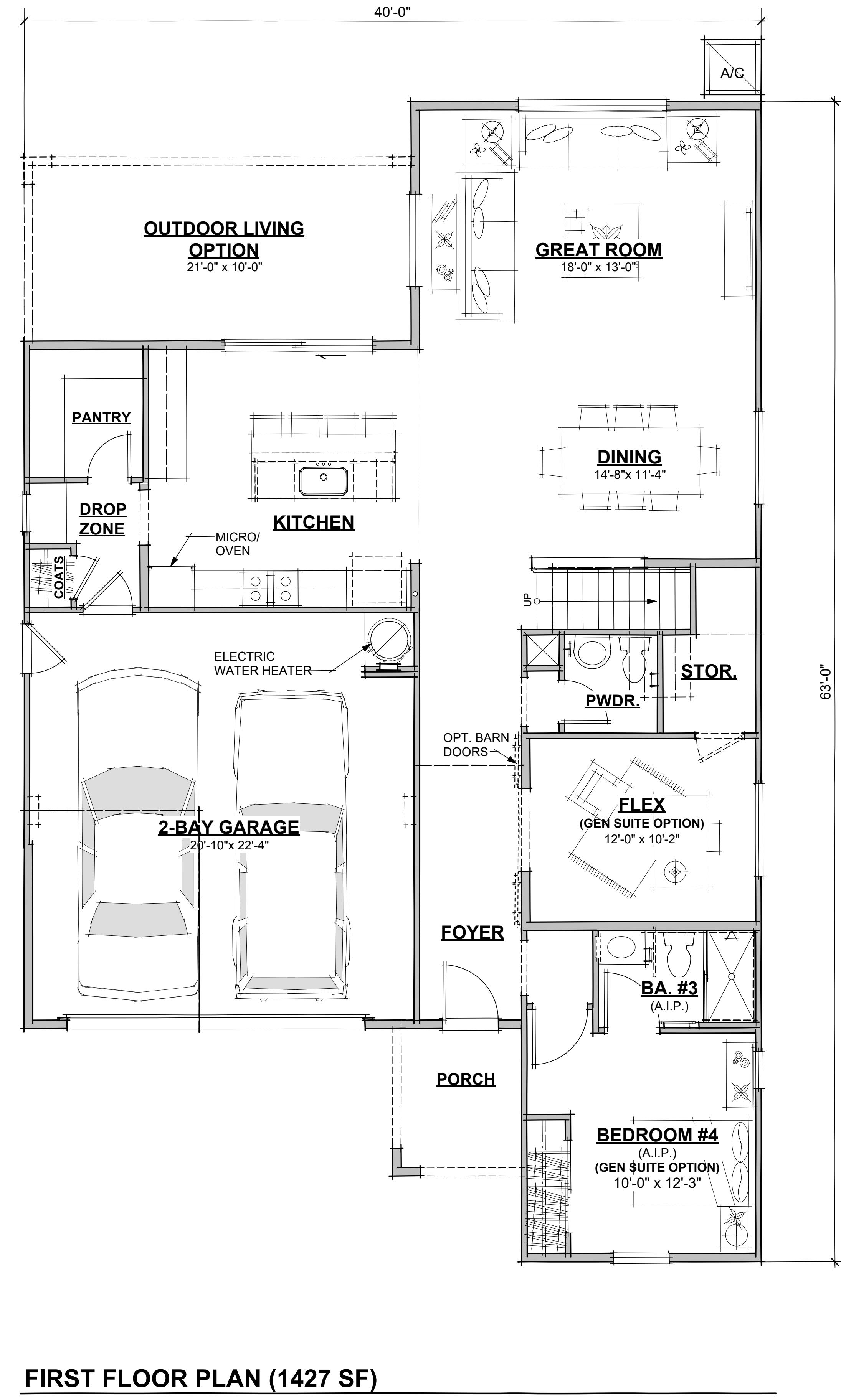
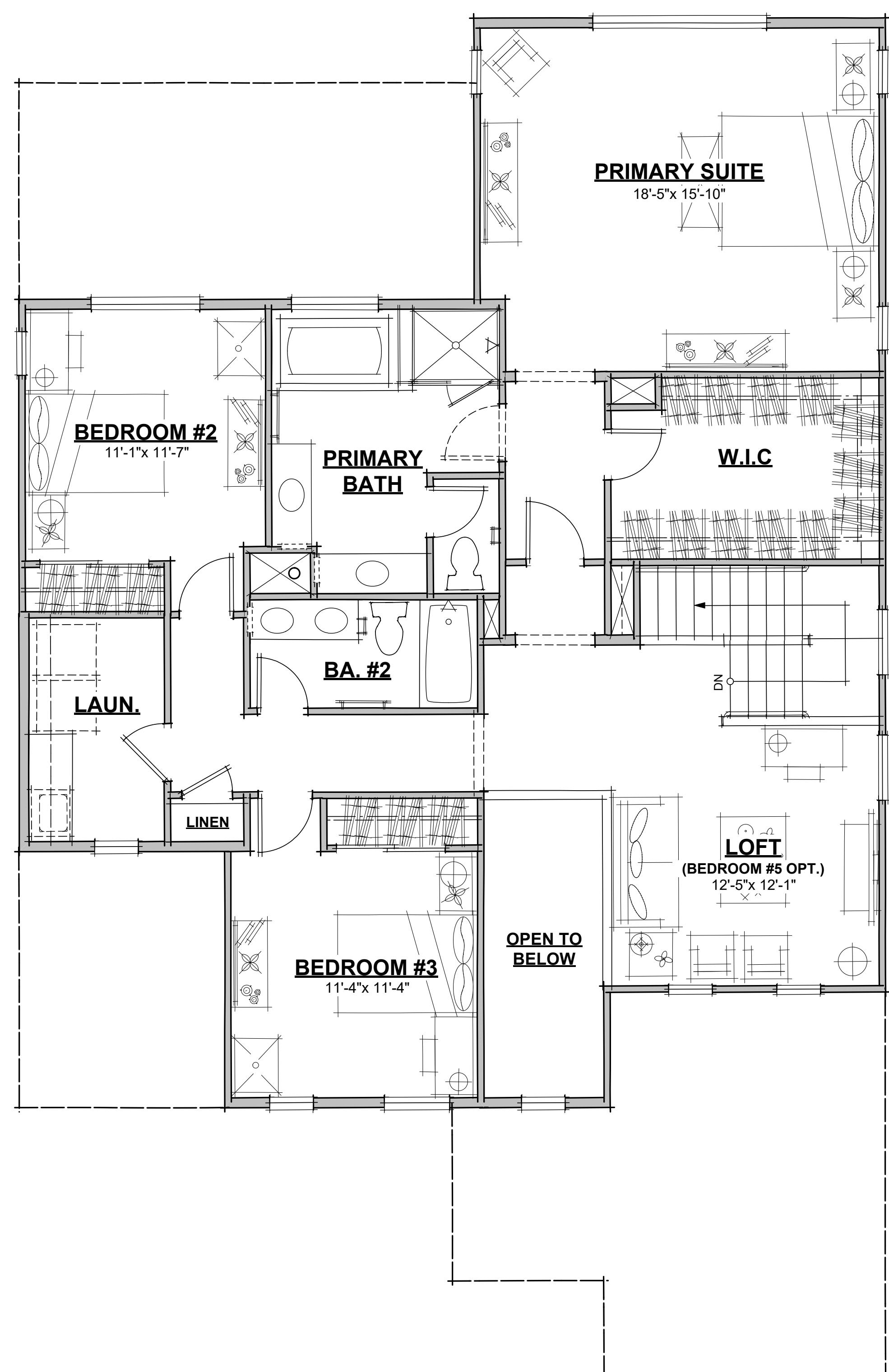
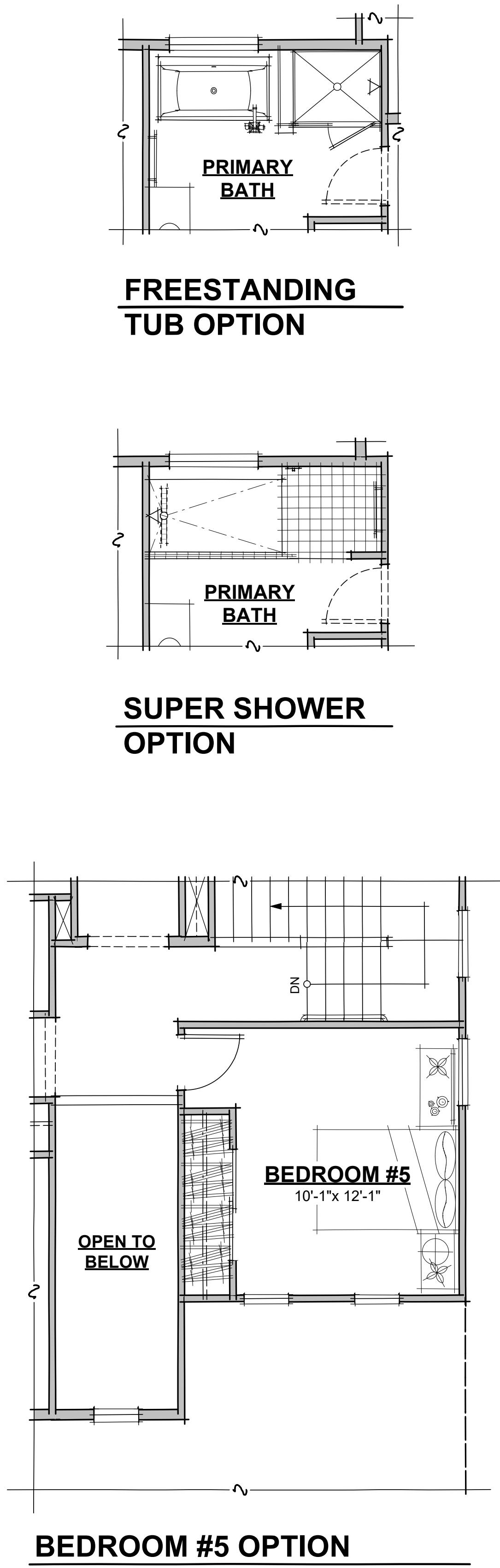
**FRONT ELEVATION "C"**  
(MONTEREY)

Scheme 8



**FRONT ELEVATION "D"**  
(TUSCAN)

Scheme 11



**PLAN 3**

2842 SF

4 Bdrm | 3.5 Bath | Loft  
Gen Smart Opt  
Bdrm 5 Opt  
2-Car Garage



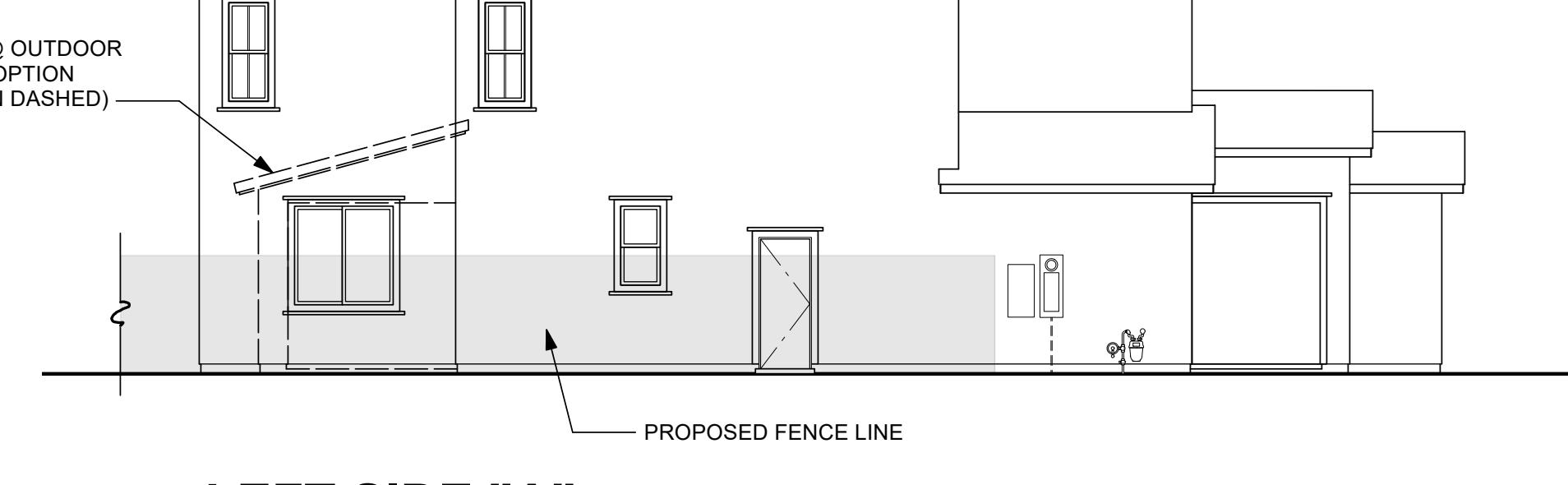
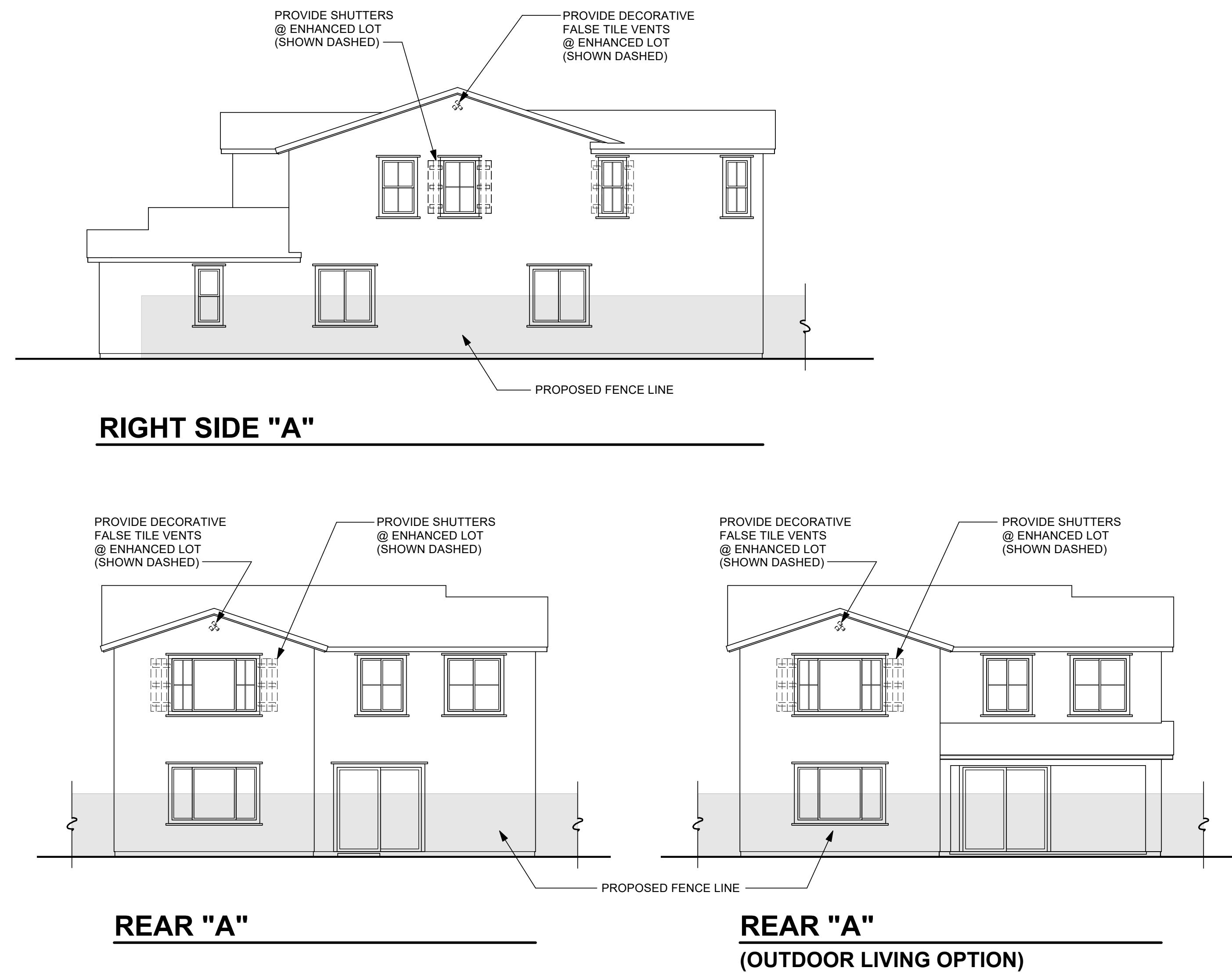
938 Tyler Street #101  
Benicia, CA 94510  
Phone: (707) 746-6586

2428 12-06-24

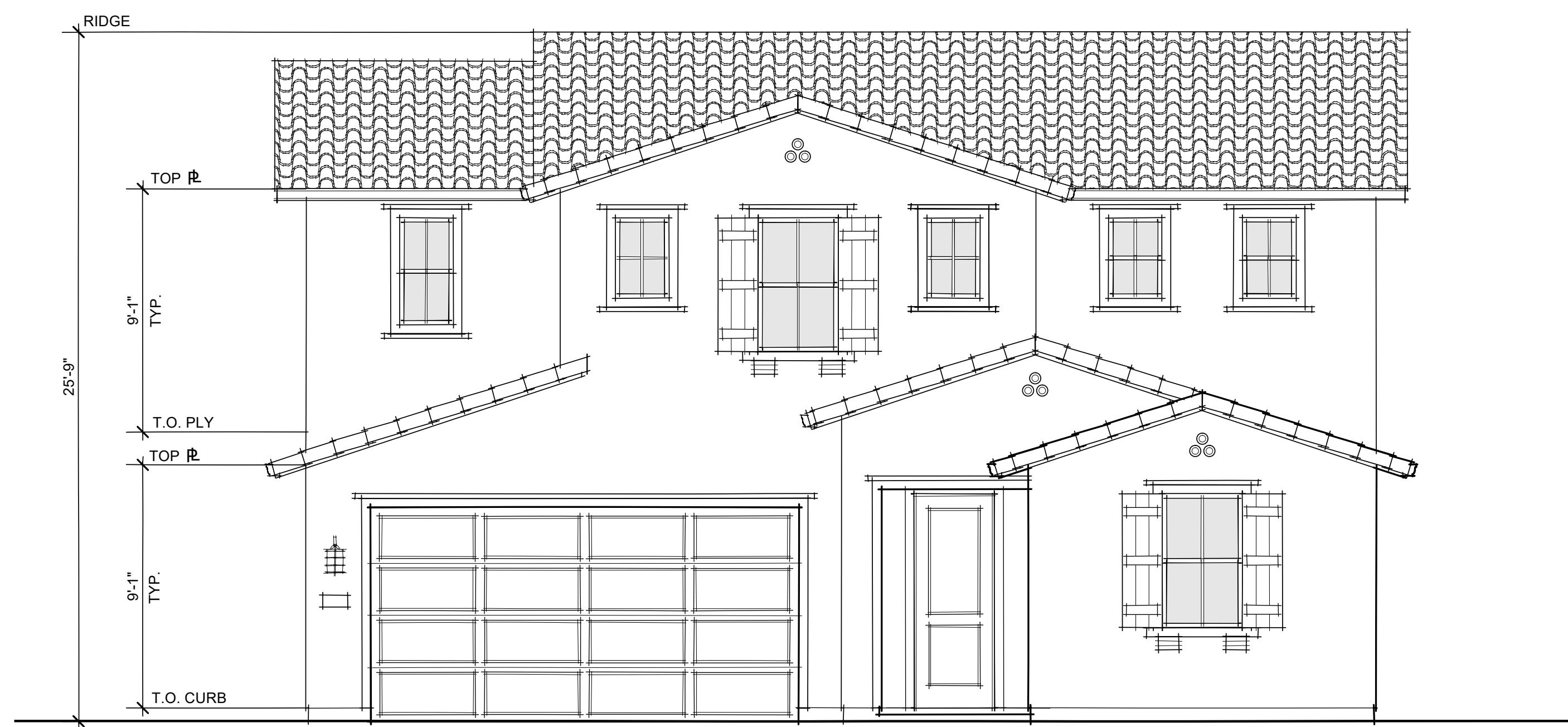
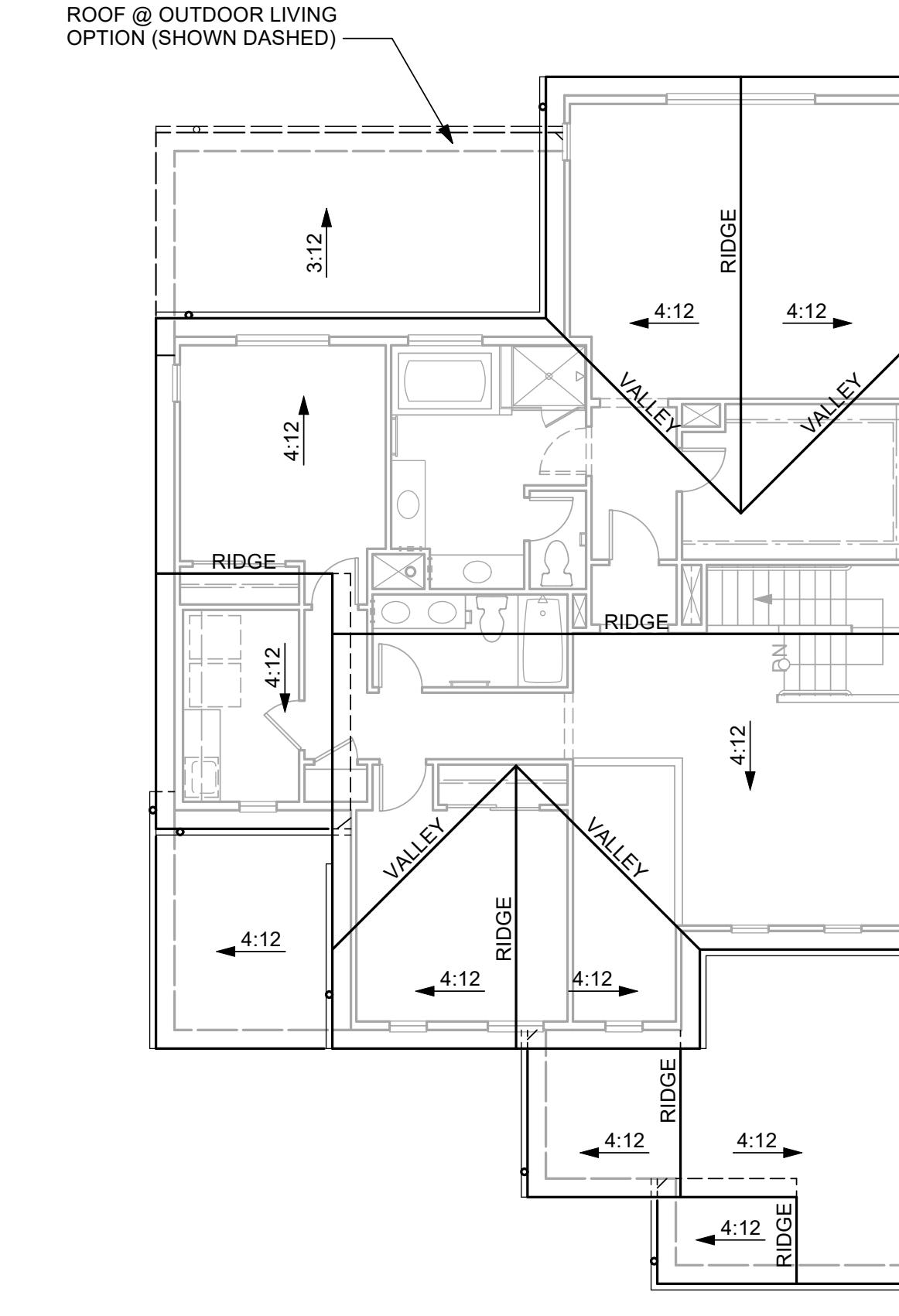
SHEET A-12

**tri pointe®  
HOMES**

**PLAN 3 (240-2842)  
THE BROOKS AT CREEKSIDE  
Antioch, California**



## PLAN 3 THE BROOKS AT CREEKSIDE Antioch, California



SPANISH THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>HIP &amp; GABLE ROOFS</li> <li>CONCRETE LOW PROFILE "S-TILE" ROOFING</li> <li>Ogee Gutters</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>DECORATIVE TILE VENTS (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>THEME SPECIFIC FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> <li>THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



COACH LIGHT: KICHLER  
LIGHTING - MILL LANE 16" (49961AVI)



# **PLAN 3**

# **THE BROOKS AT CREEKSIDE**

---

## **Antioch, California**



# **FRONT ELEVATION "C"**

## **(MONTEREY)**

# MONTEREY THEME CHARACTERISTICS

ROOF

- GABLE & SHED ROOFS
  - CONCRETE LOW PROFILE "S-TILE" ROOFING
  - OGEE GUTTERS
  - 12" OVERHANGS, TYP. (U.O.N.)

## **EXTERIOR MATERIALS**

- STUCCO SIDING
  - DECORATIVE FOAM SHUTTERS  
(WHERE OCCURS)
  - MASONRY BRICK VENEER (WHERE OCCURS)

TRIM

- STUCCO OVER FOAM TRIM

## FEATURES

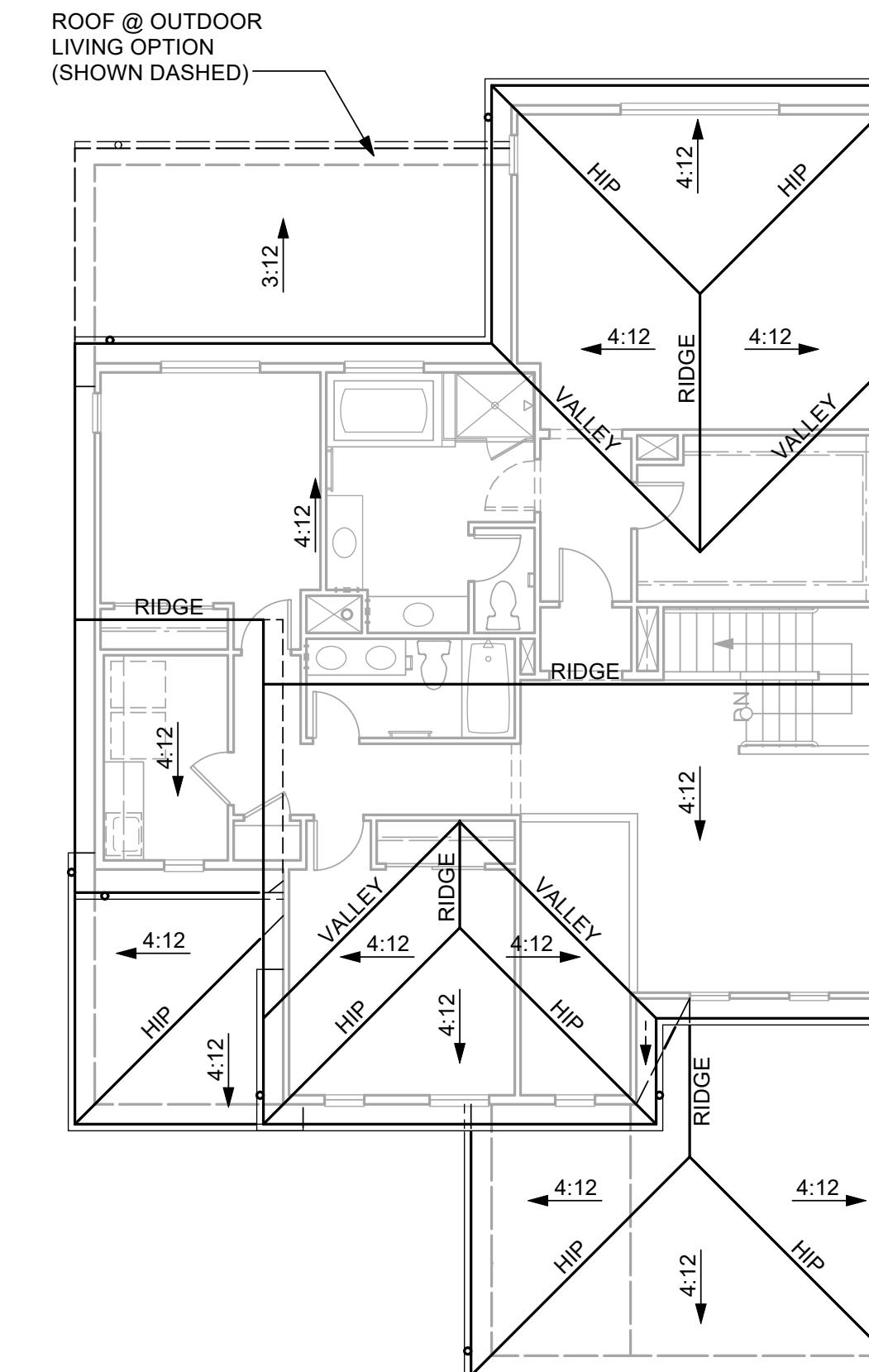
- WINDOW GRIDS STANDARD @ RIGHT SIDE & REAR ELEVATIONS
  - ARCHED SOFFITS @ PORCH
  - FAUX VENTS
  - THEME SPECIFIC FRONT DOORS
  - THEME SPECIFIC GARAGE DOORS
  - THEME SPECIFIC COACH LIGHTS

## **ENHANCED ELEVATIONS**

- SIDE & REAR ELEVATIONS OF HOMES ALONG SENSITIVE & PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN



COACH LIGHT: MAXIM LIGHTING - VICKSBURG 24" (30024 CLBK)



TUSCAN THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>• HIP &amp; GABLE ROOFS</li> <li>• CONCRETE LOW PROFILE "S-TILE" ROOFING</li> <li>• Ogee Gutters</li> <li>• 12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>• STUCCO SIDING</li> <li>• DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>• MASONRY STONE VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>• STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>• WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>• THEME SPECIFIC FRONT DOORS</li> <li>• THEME SPECIFIC GARAGE DOORS</li> <li>• THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>• SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



## PLAN 3 THE BROOKS AT CREEKSIDE Antioch, California



**FRONT ELEVATION "A"**  
(SPANISH)

Scheme 3

**FRONT ELEVATION "B"**  
(AMERICAN FARMHOUSE)

Scheme 4



**FRONT ELEVATION "C"**  
(MONTEREY)

Scheme 7

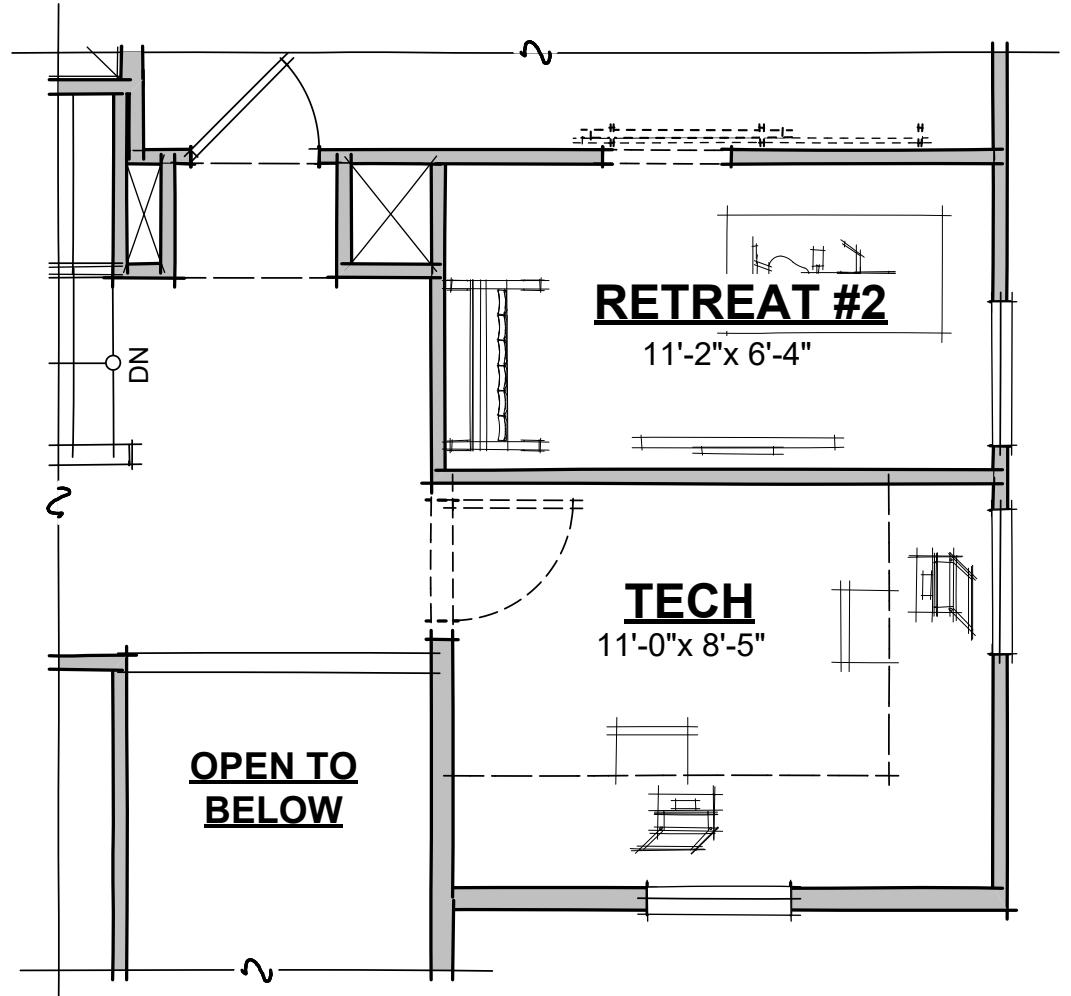
**PLAN 4**  
**THE BROOKS AT CREEKSIDE**  
Antioch, California

**tri pointe<sup>®</sup>**  
HOMES

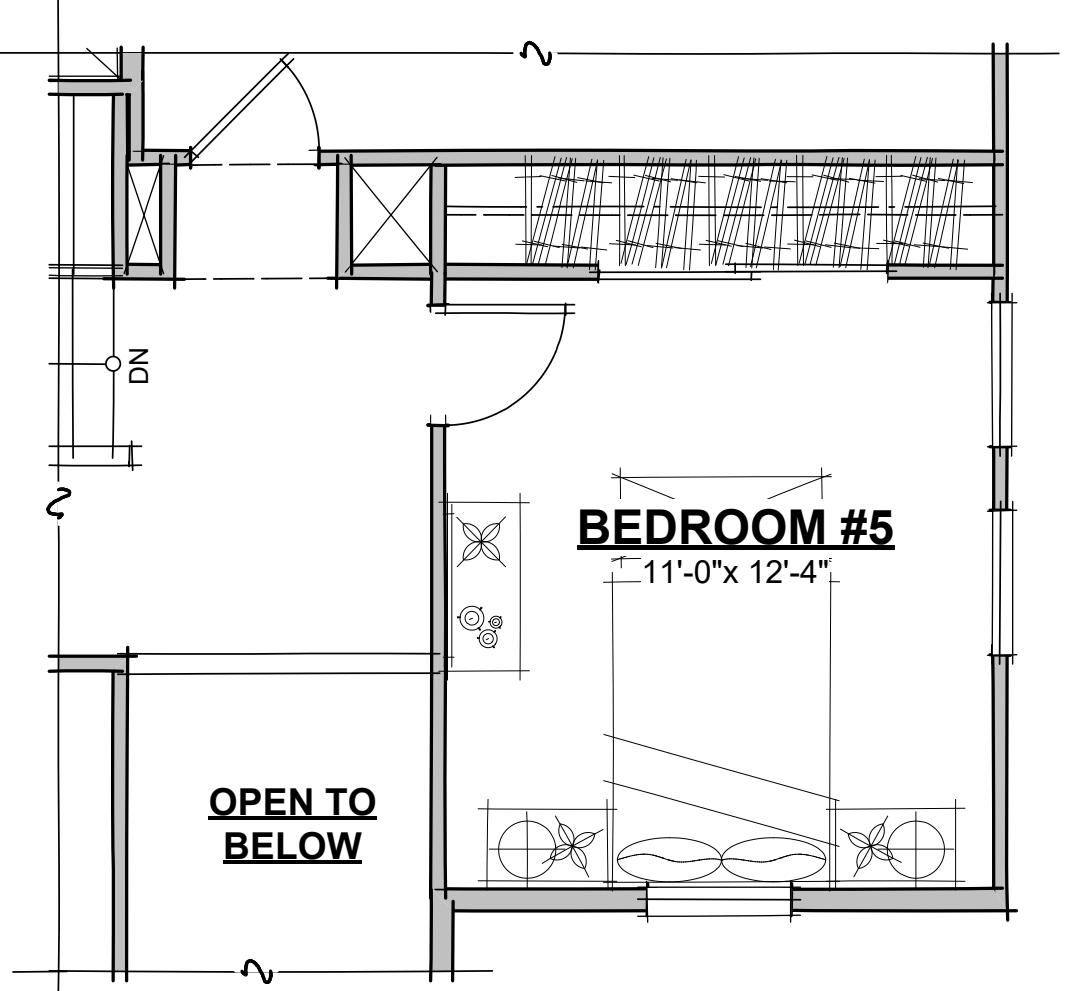
938 Tyler Street #101  
Benicia, CA 94510  
Phone: (707) 746-6586

**OAG**  
ARCHITECTS

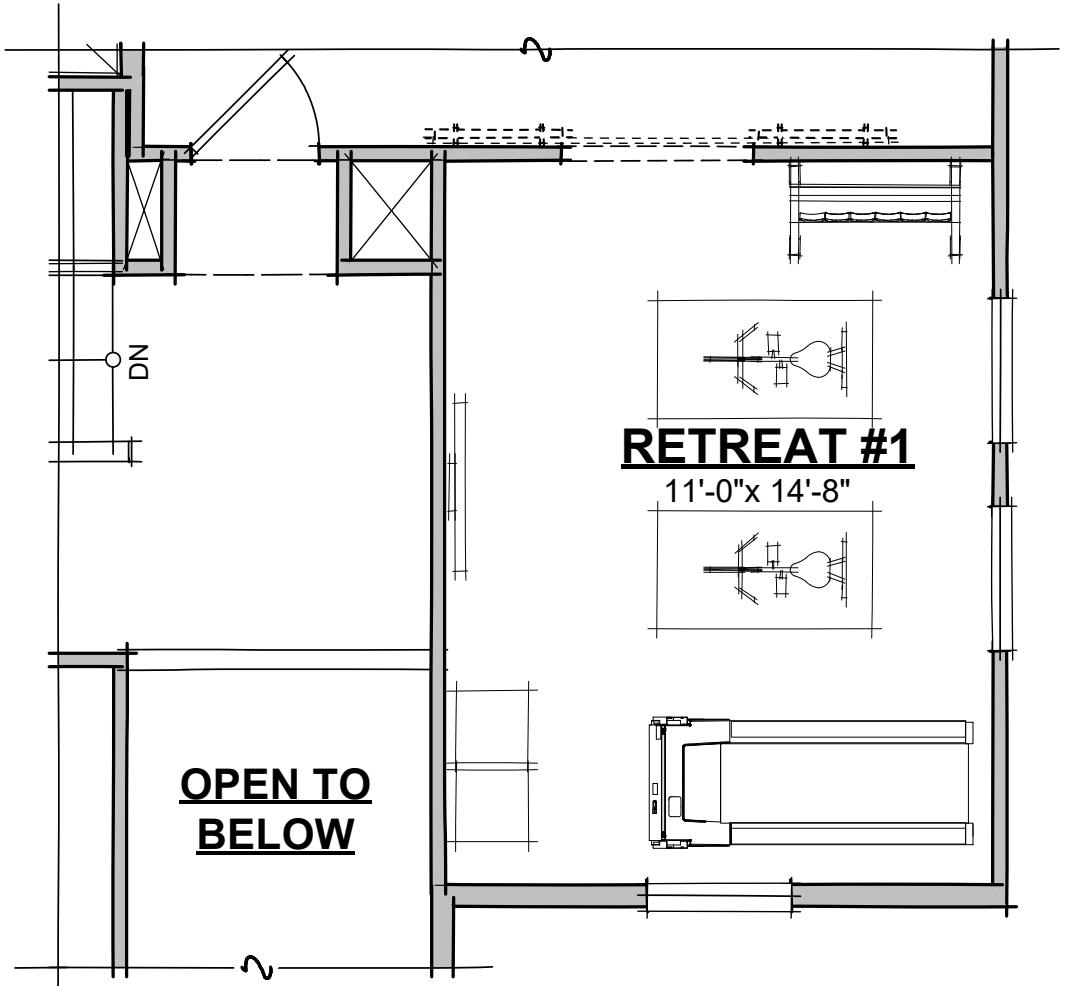
2428 12-06-24



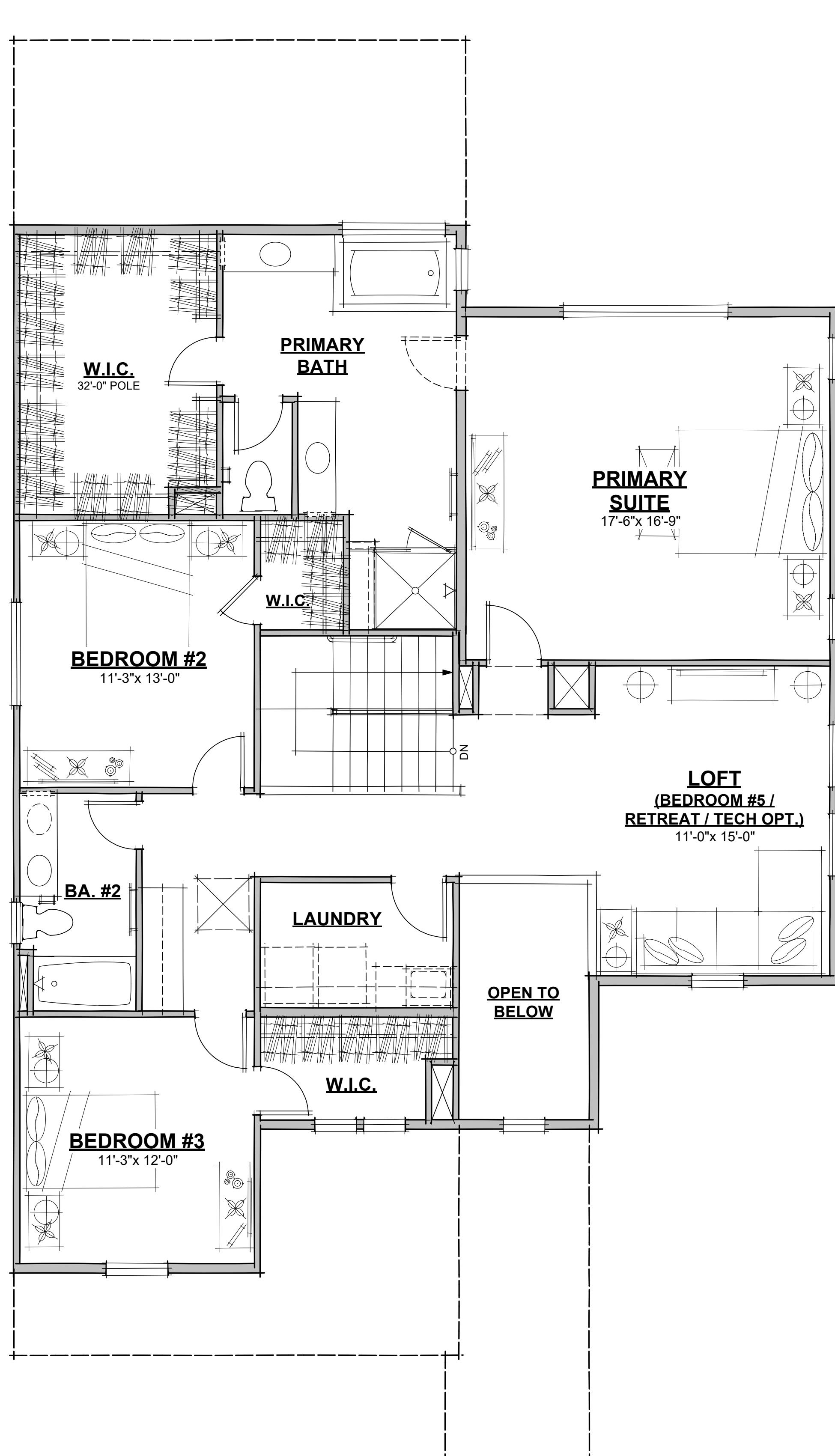
**TECH / RETREAT #2 OPTION**



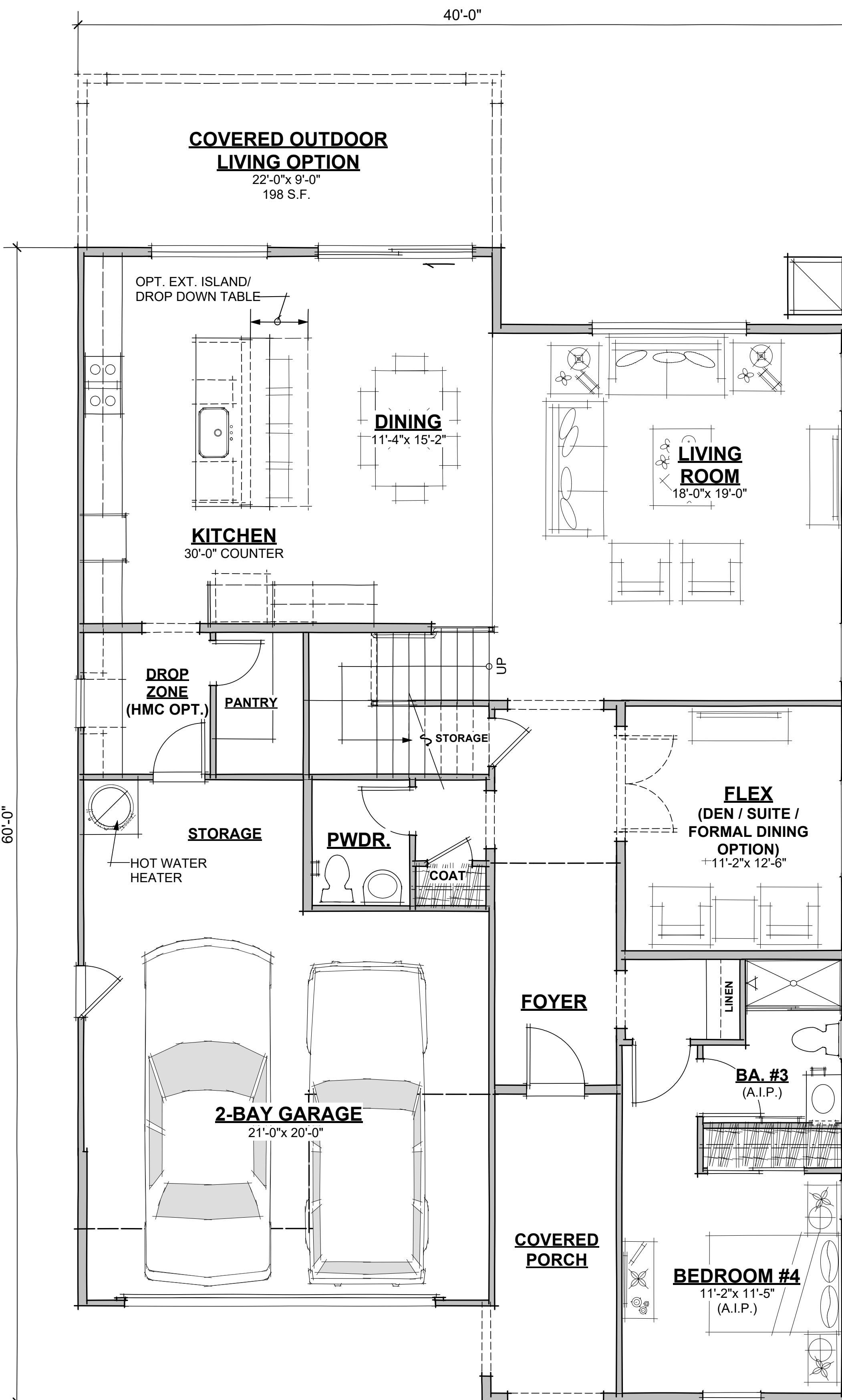
**BEDROOM #5 OPTION**



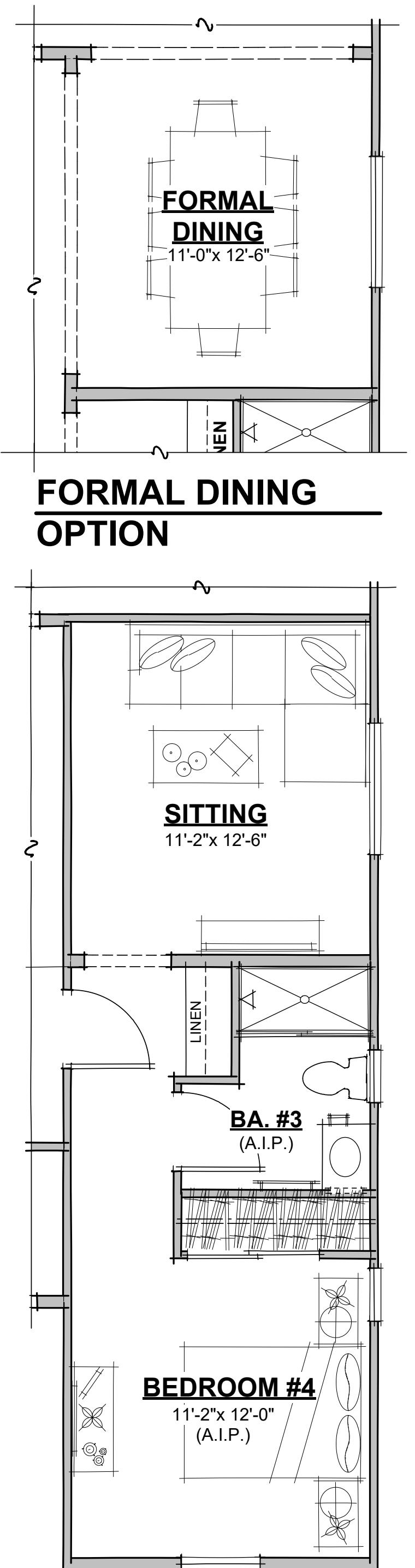
**RETREAT #1 OPTION**



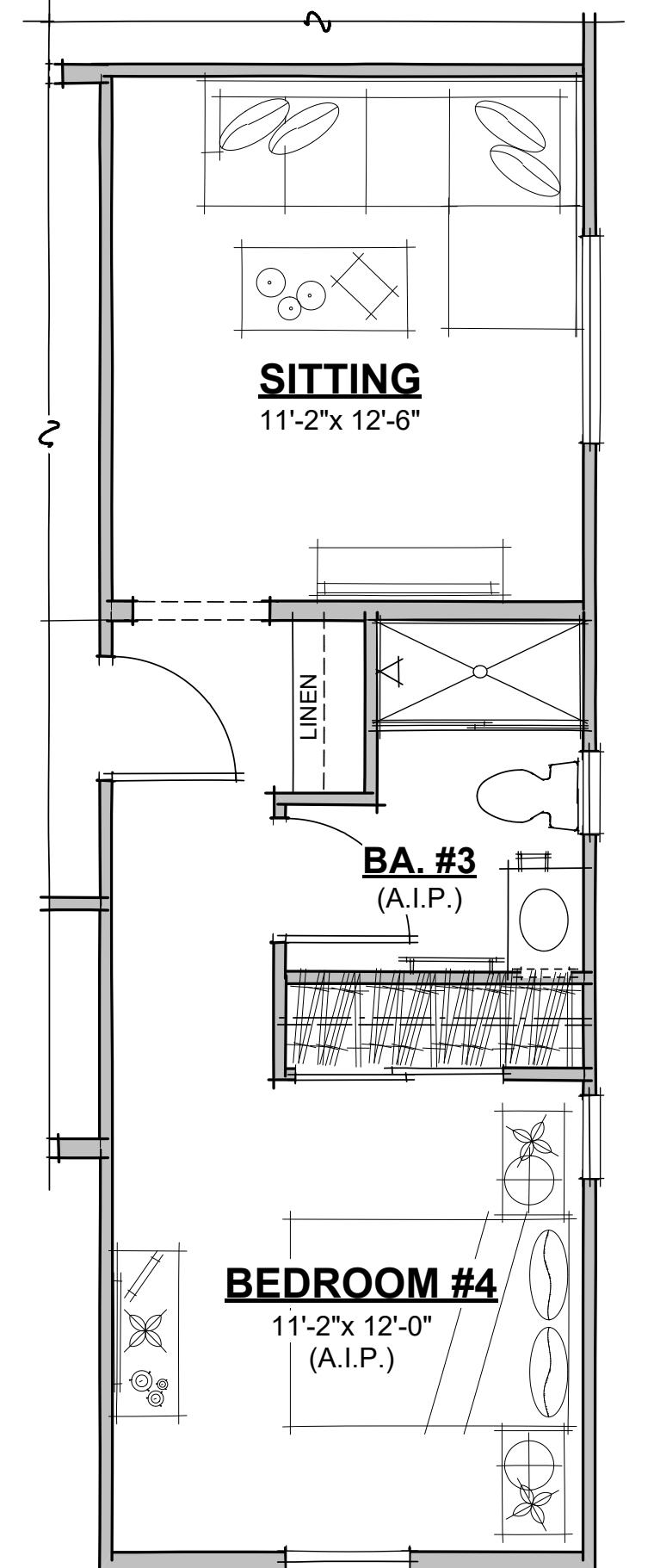
**SECOND FLOOR PLAN (1543 S.F.)**



**FIRST FLOOR PLAN (1597 SF)**



**FORMAL DINING OPTION**



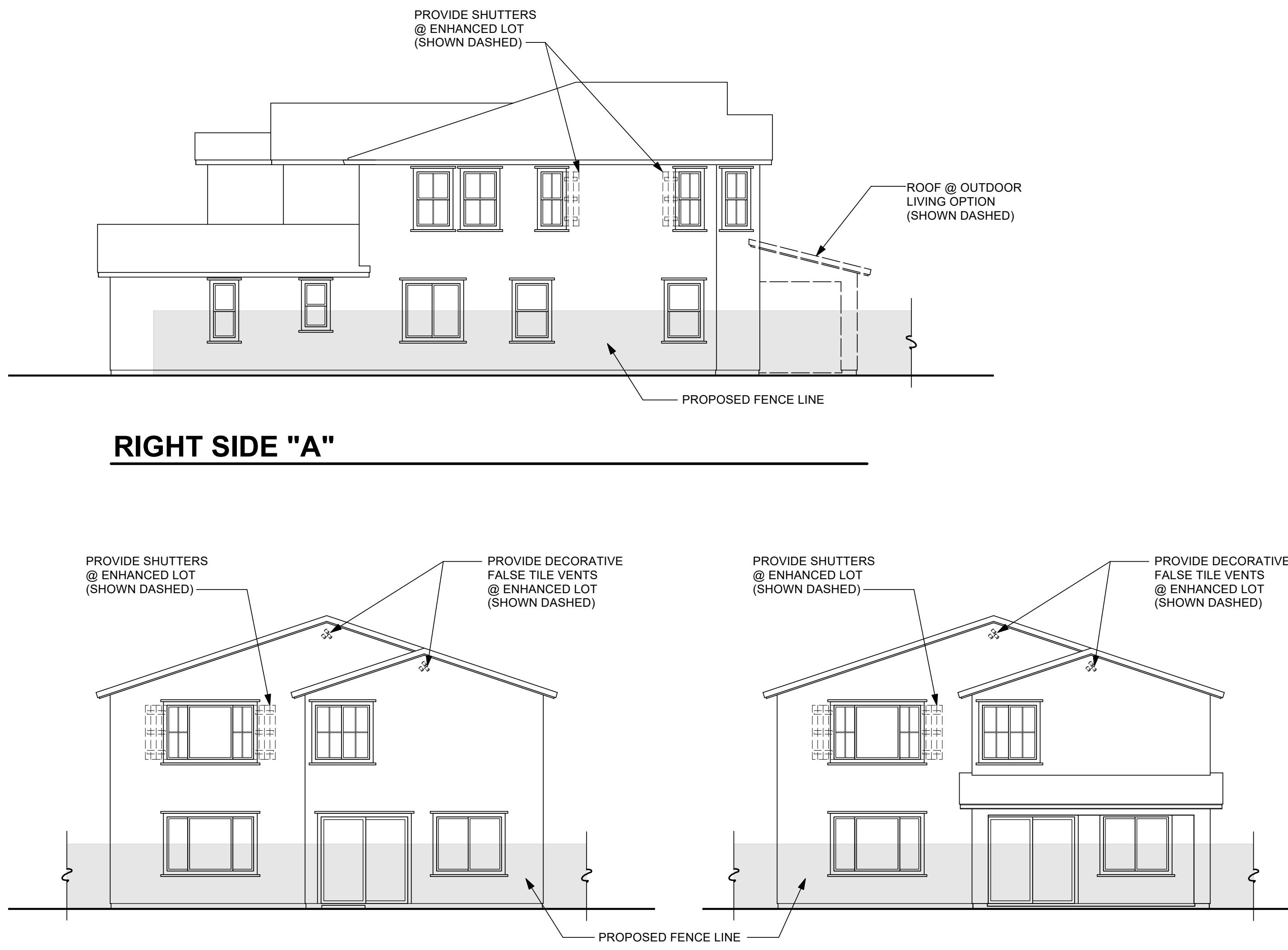
**GENSMART SUITE OPTION**

50'x90'

## **PLAN 4**

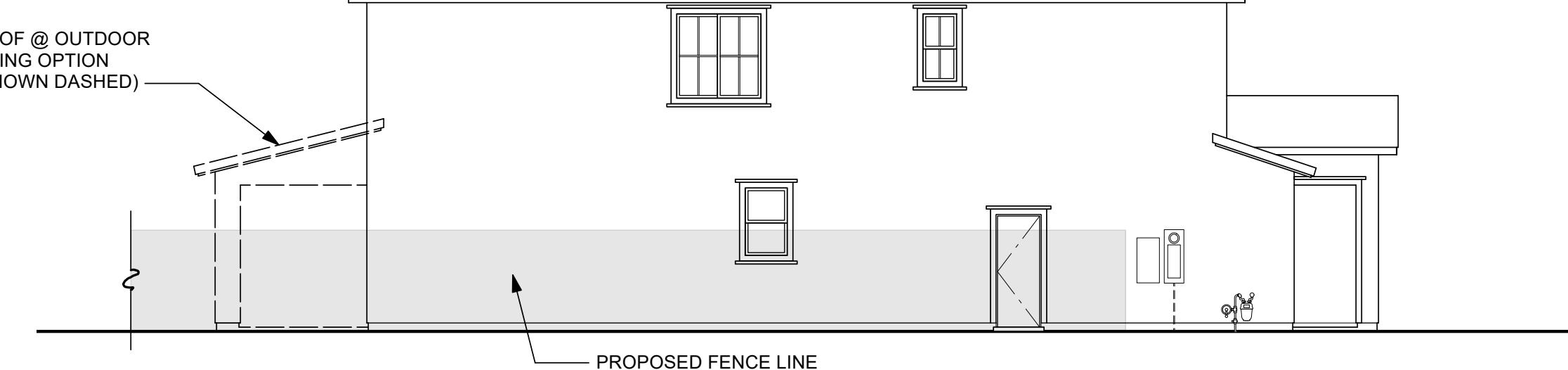
3140 SF

4 Bdrm | 3.5 Bath | Flex  
Loft | Opt. Bdrm 5  
Opt. Suite | Opt. Dining  
Opt. Retreat/Tech  
2-Car Garage

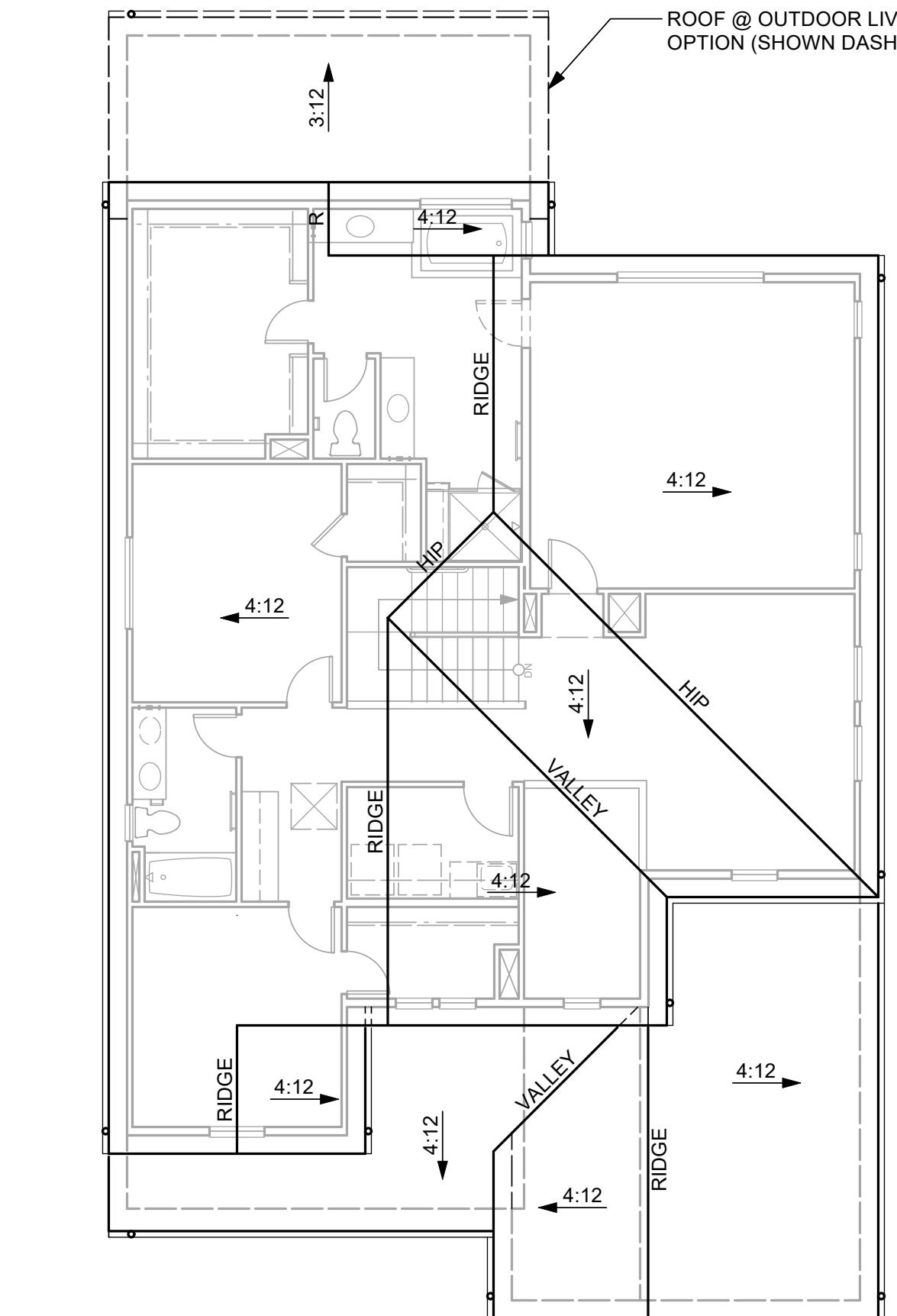


**REAR "A"**

# **REAR "A" (OUTDOOR LIVING OPTION)**



## **LEFT SIDE "A"**



## ROOF PLAN "A"



COACH LIGHT: KICHLER  
LIGHTING, MILL LANE 16" (49961AVI)



# **FRONT ELEVATION "A"**

## **(SPANISH)**

# SPANISH THEME CHARACTERISTICS

ROOF

- HIP & GABLE ROOFS
  - CONCRETE LOW PROFILE "S-TILE" ROOFING
  - OGEE GUTTERS
  - 12" OVERHANGS, TYP. (U.O.N.)

## **EXTERIOR MATERIALS**

- STUCCO SIDING
  - DECORATIVE FOAM SHUTTERS  
(WHERE OCCURS)
  - DECORATIVE TILE VENTS (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM

# FEATURES

- WINDOW GRIDS STANDARD @ RIGHT SIDE & REAR ELEVATIONS
  - THEME SPECIFIC FRONT DOORS
  - THEME SPECIFIC GARAGE DOORS
  - THEME SPECIFIC COACH LIGHTS

## **ENHANCED ELEVATIONS**

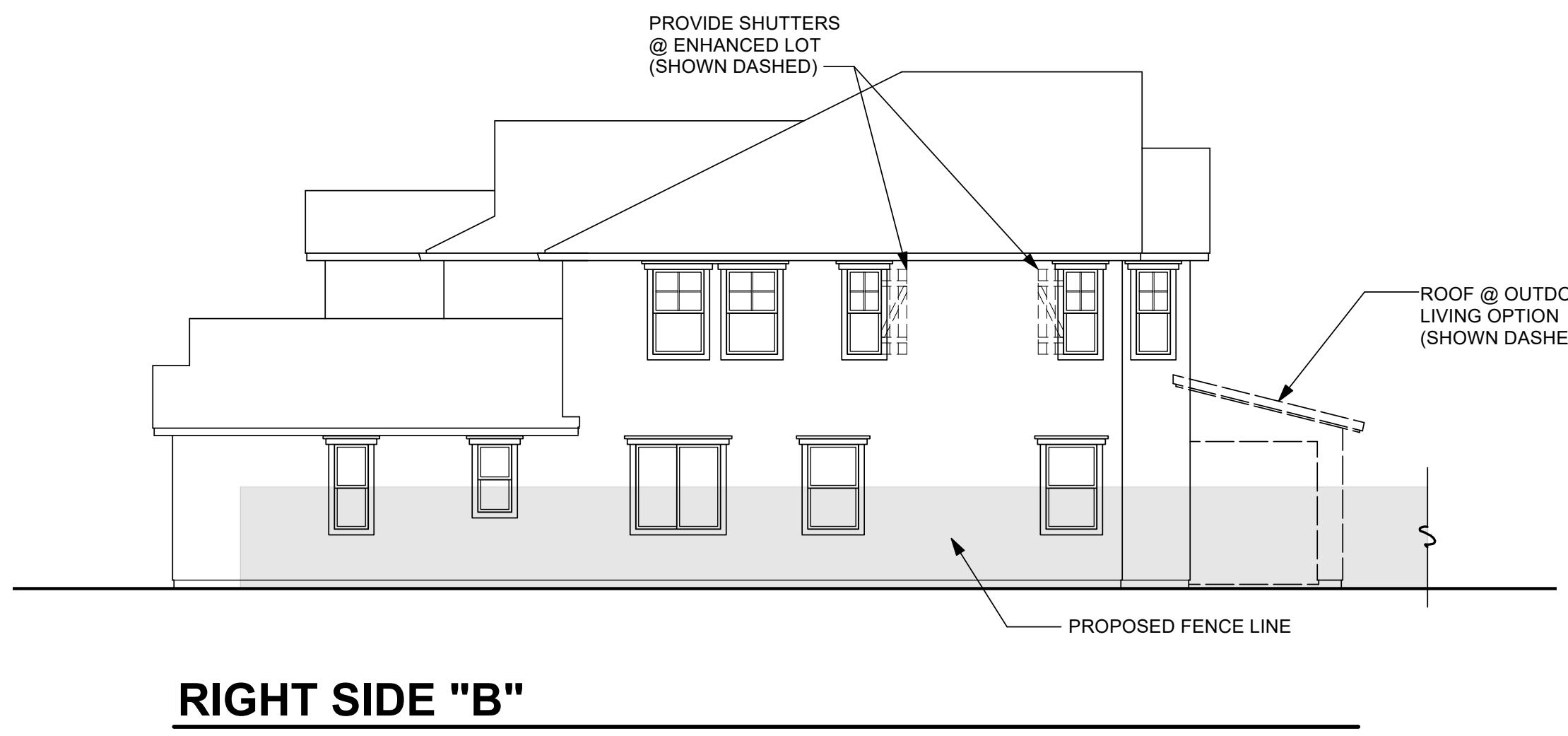
- SIDE & REAR ELEVATIONS OF HOMES ALONG SENSITIVE & PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN

**tri pointe<sup>®</sup>**  
HOMES

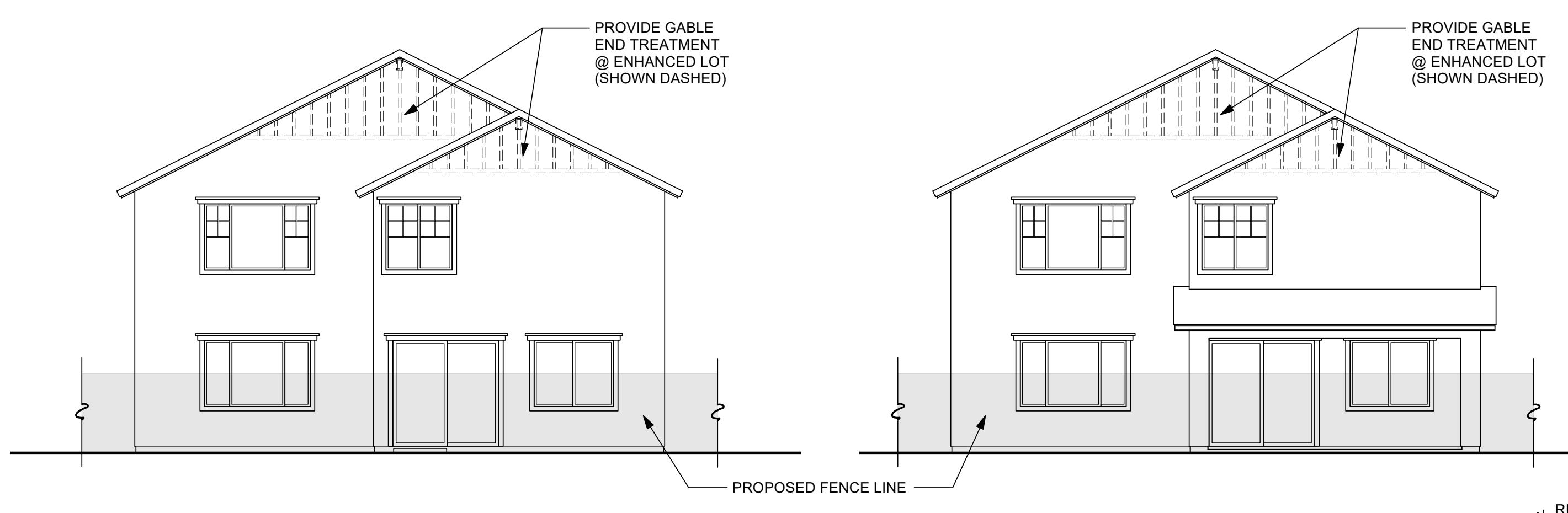
**PLAN 4**

**THE BROOKS AT CREEKSIDE**

**Antioch, California**

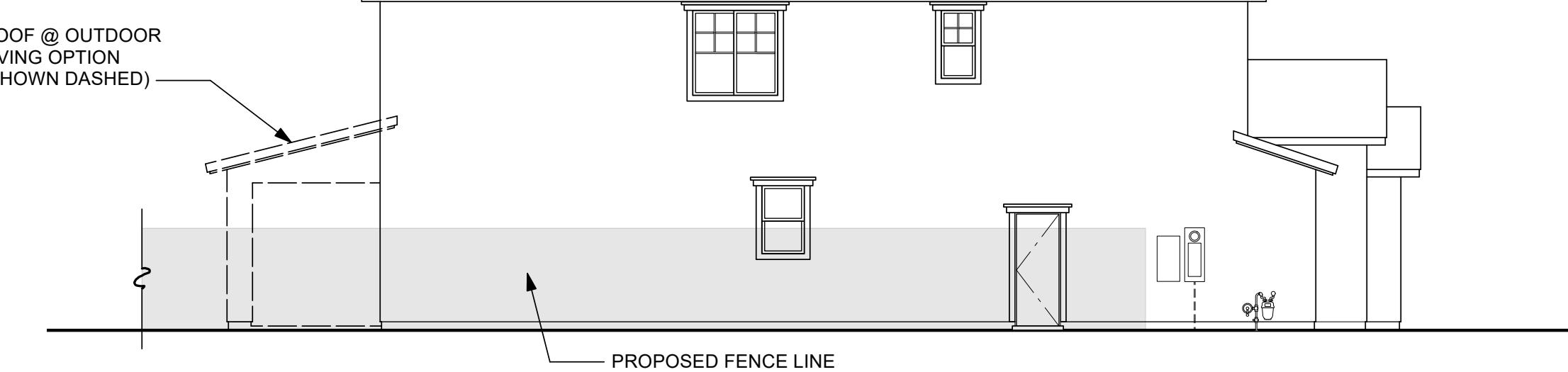


## **RIGHT SIDE "B"**

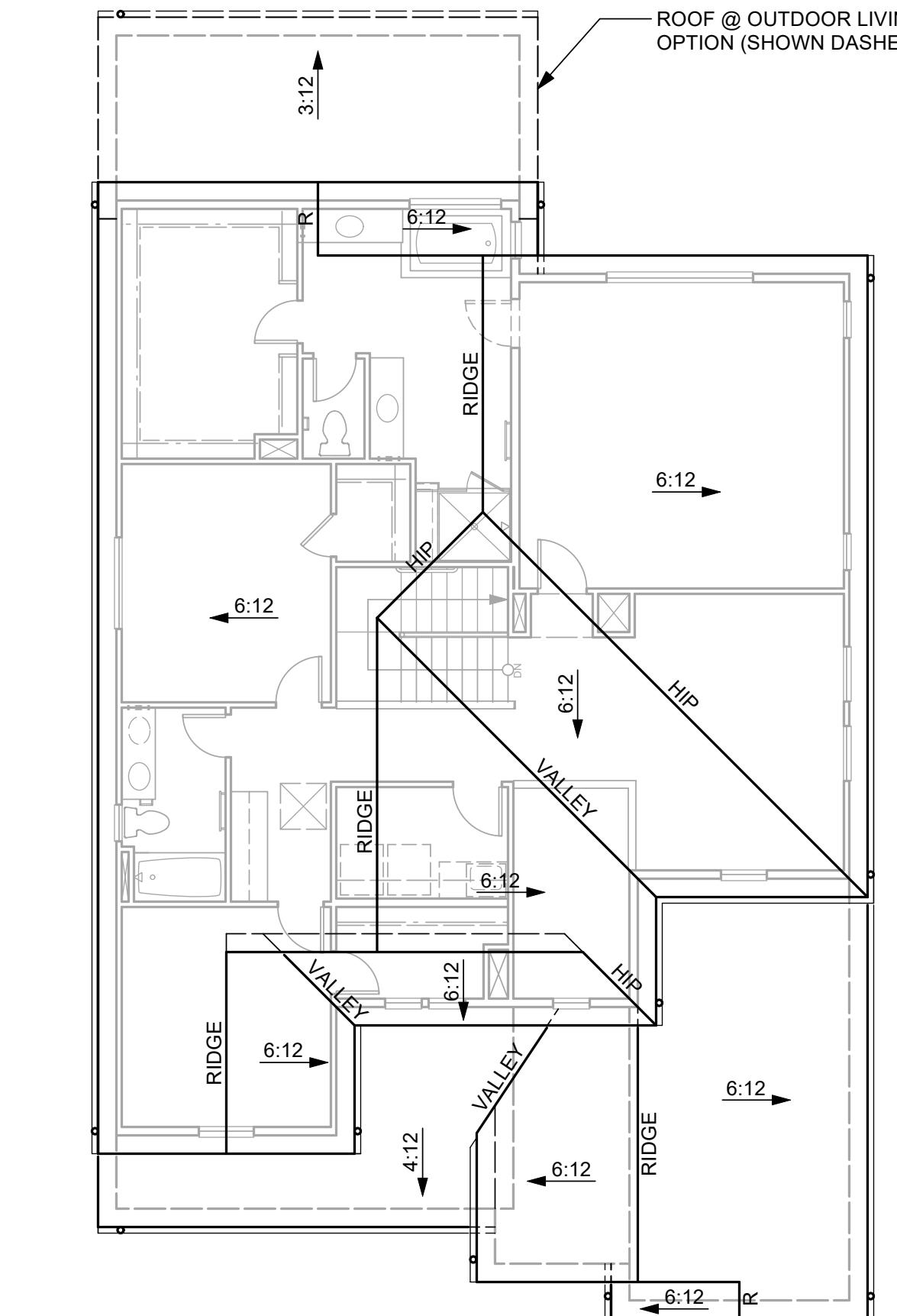


**REAR "B"**

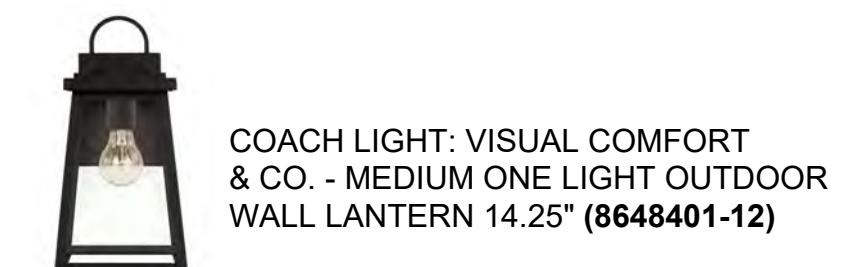
# **REAR "B" --- (OUTDOOR LIVING OPTION)**



## **LEFT SIDE "B"**



**ROOF PLAN "B"**



COACH LIGHT: VISUAL COMFORT  
& CO. - MEDIUM ONE LIGHT OUTDOOR  
WALL LANTERN 14 25" (8648401-12)



# **FRONT ELEVATION "B"**

## **(AMERICAN FARMHOUSE)**

## AMERICAN FARMHOUSE THEME CHARACTERISTICS

**ROOF**

- GABLE ROOFS
  - CONCRETE "FLAT" TILE ROOFING
  - OGEE GUTTERS
  - 12" OVERHANGS, TYP. (U.O.N.)

## **EXTERIOR MATERIALS**

- STUCCO SIDING
  - DECORATIVE FOAM SHUTTERS  
(WHERE OCCURS)
  - BOARD & BATT SIDING (WHERE OCCURS)
  - FOAM/WOOD BRACKET (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM

## **FEATURES**

- WINDOW GRIDS STANDARD @ RIGHT SIDE & REAR ELEVATIONS
  - THEME SPECIFIC FRONT DOORS
  - THEME SPECIFIC GARAGE DOORS
  - THEME SPECIFIC COACH LIGHTS

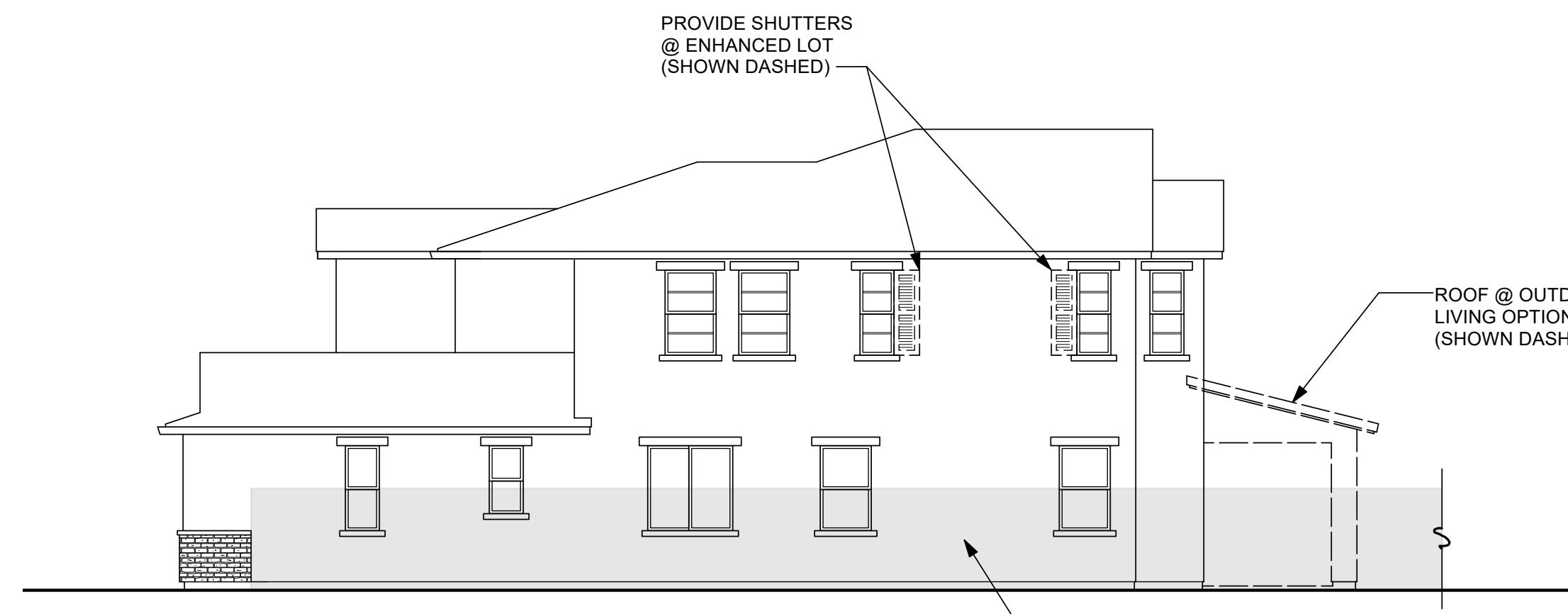
## **ENHANCED ELEVATIONS**

- SIDE & REAR ELEVATIONS OF HOMES ALONG SENSITIVE & PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN

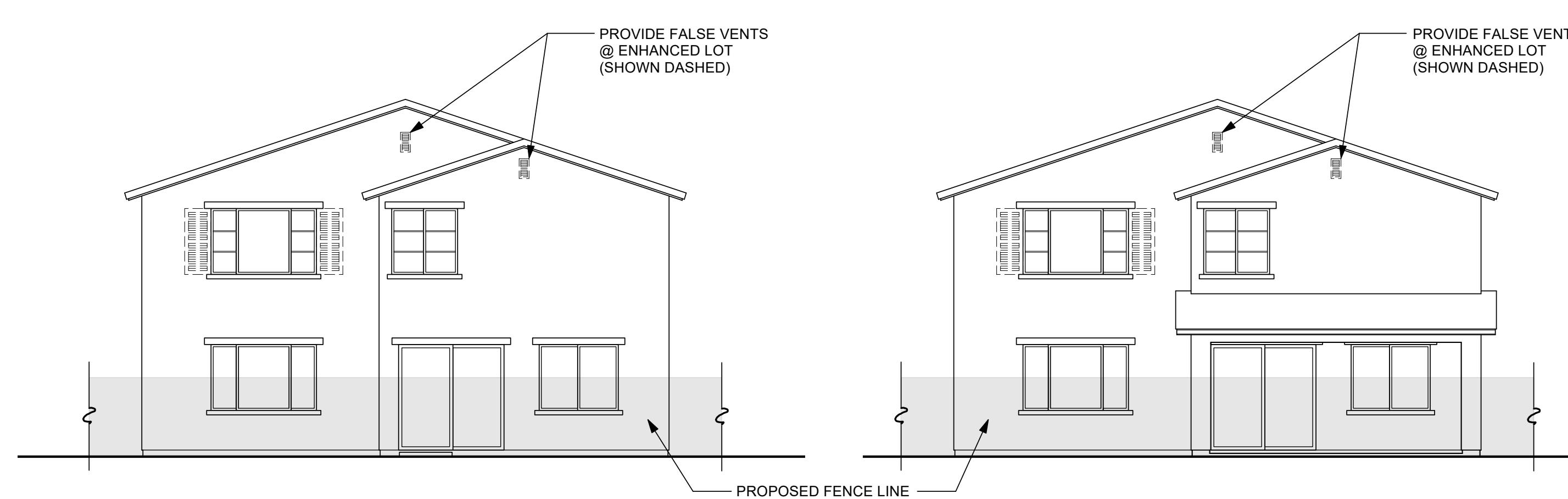
**PLAN 4**

**THE BROOKS AT CREEKSIDE**

**Antioch, California**

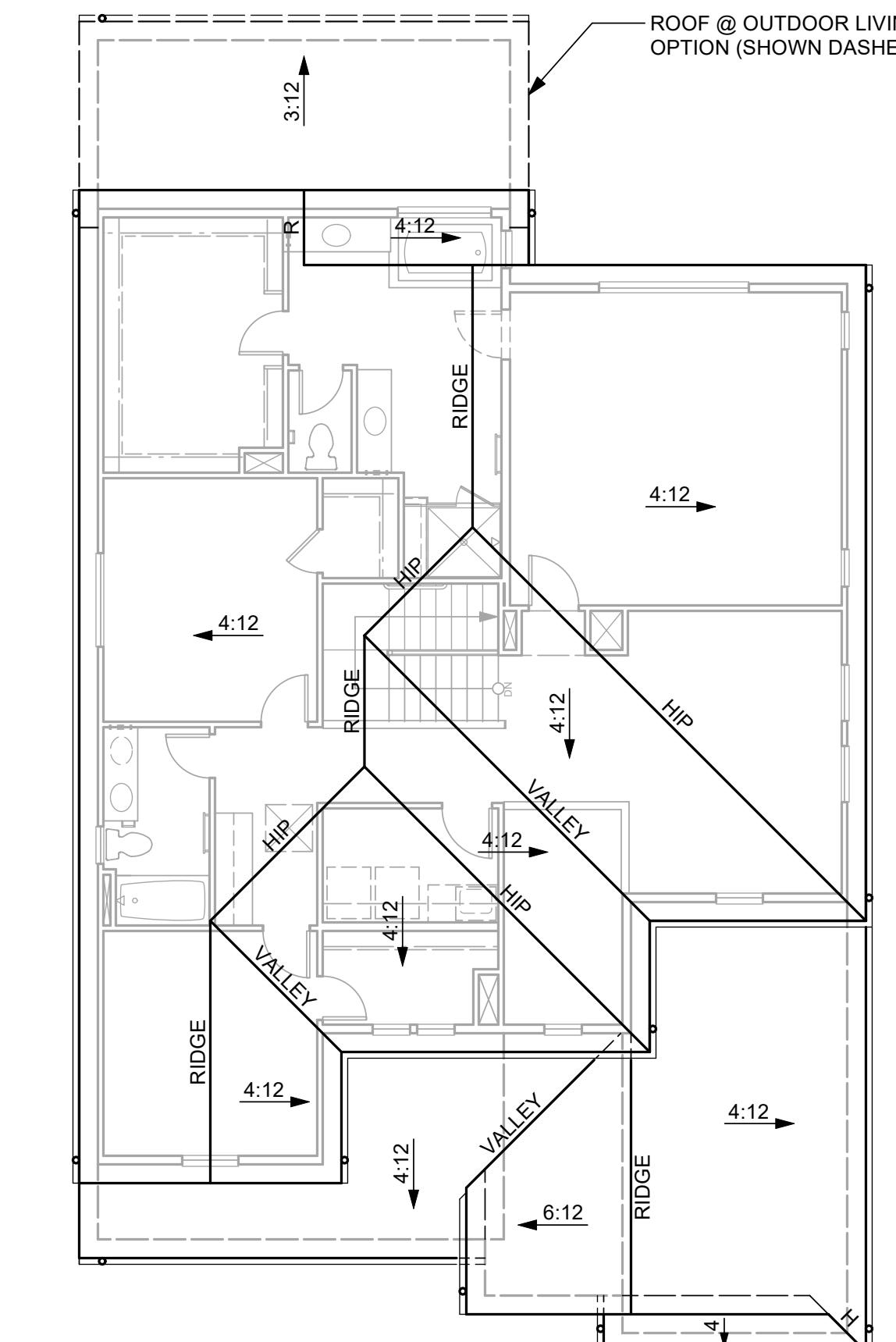


**RIGHT SIDE "C"**



**REAR "C"**

**REAR "C"  
(OUTDOOR LIVING OPTION)**

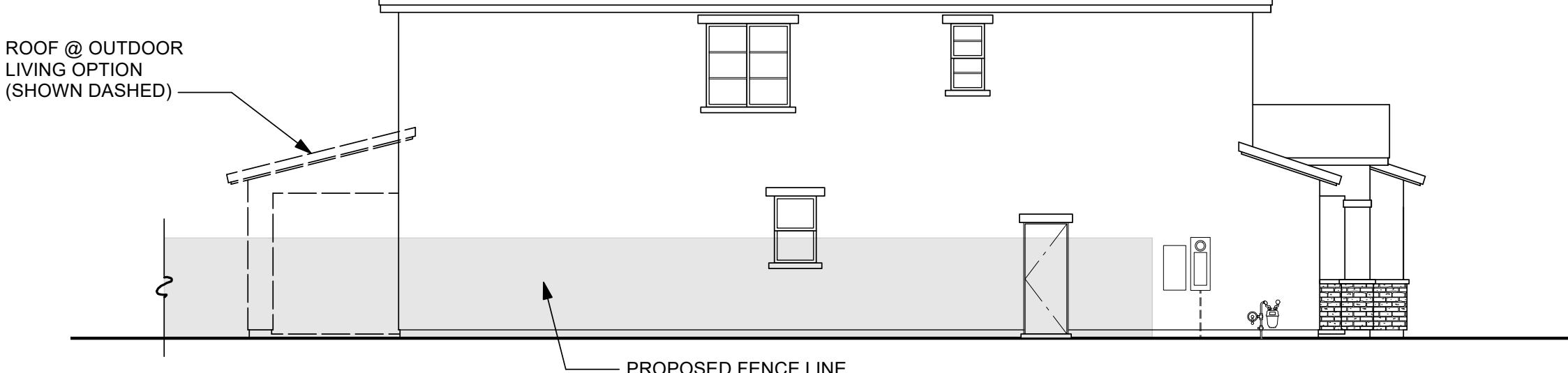


**ROOF PLAN "C"**

MONTEREY THEME CHARACTERISTICS	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>• GABLE &amp; SHED ROOFS</li> <li>• CONCRETE LOW PROFILE "S-TILE" ROOFING</li> <li>• Ogee Gutters</li> <li>• 12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>• STUCCO SIDING</li> <li>• DECORATIVE FOAM SHUTTERS (WHERE OCCURS)</li> <li>• MASONRY BRICK VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>• STUCCO OVER FOAM TRIM</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>• WINDOW GRIDS STANDARD @ RIGHT SIDE &amp; REAR ELEVATIONS</li> <li>• ARCHED SOFFITS @ PORCH</li> <li>• FAUX VENTS</li> <li>• THEME SPECIFIC FRONT DOORS</li> <li>• THEME SPECIFIC GARAGE DOORS</li> <li>• THEME SPECIFIC COACH LIGHTS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>• SIDE &amp; REAR ELEVATIONS OF HOMES ALONG SENSITIVE &amp; PERIMETER COMMUNITY EDGES SHALL BE ENHANCED AS SHOWN</li> </ul>



COACH LIGHT: MAXIM LIGHTING - VICKSBURG 24" (30024 CLBK)

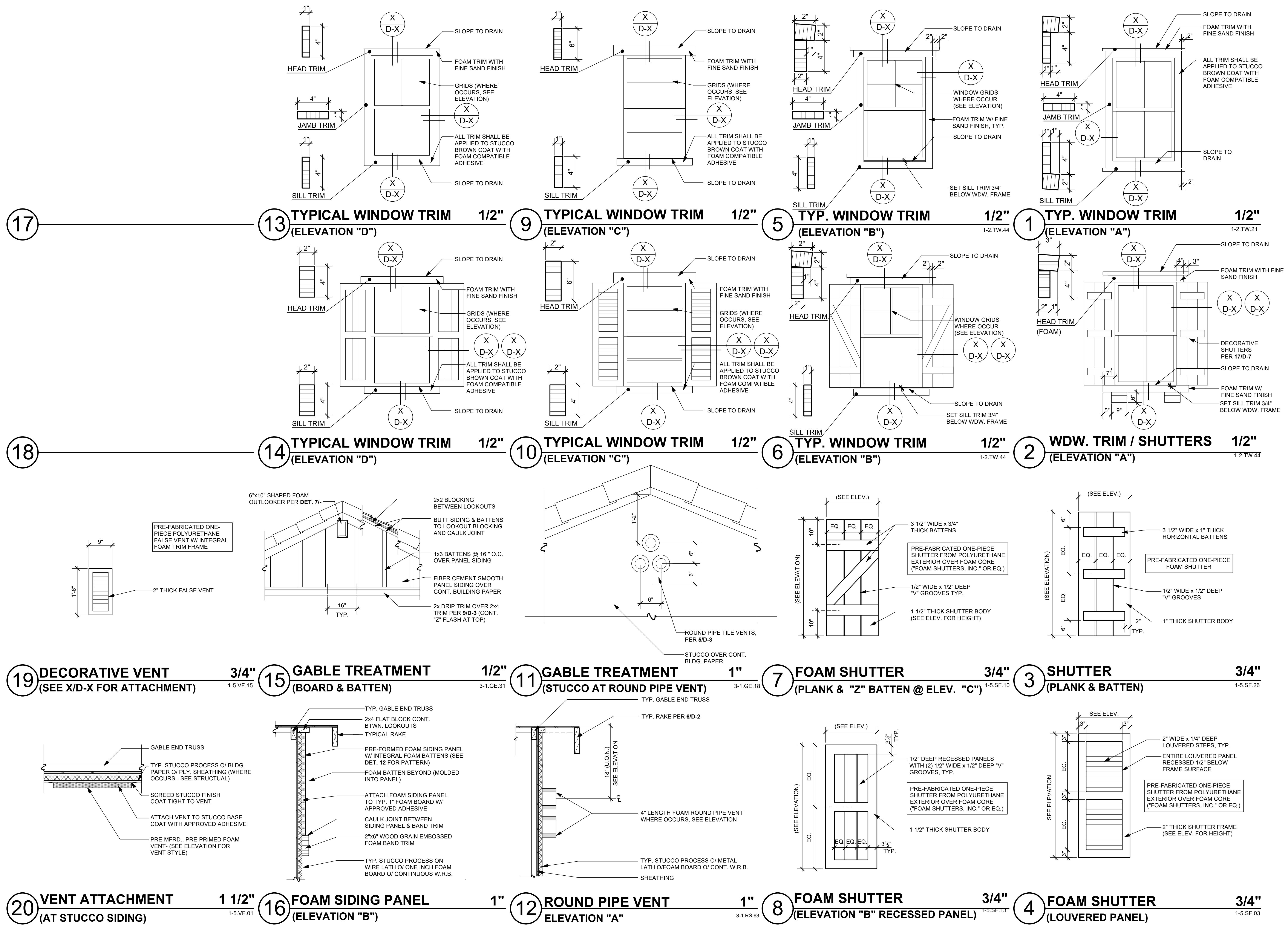


**LEFT SIDE "C"**



**FRONT ELEVATION "C"  
(MONTEREY)**

## PLAN 4 THE BROOKS AT CREEKSIDE Antioch, California



OAG  
ARCHITECTS

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Benicia, CA 94510  
P: 707.746.6586

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consent of OAG Architects, Inc.

**tri pointe**  
HOMES

# THE BROOKS AT CREEKSIDE

JOB NO. :  
2428

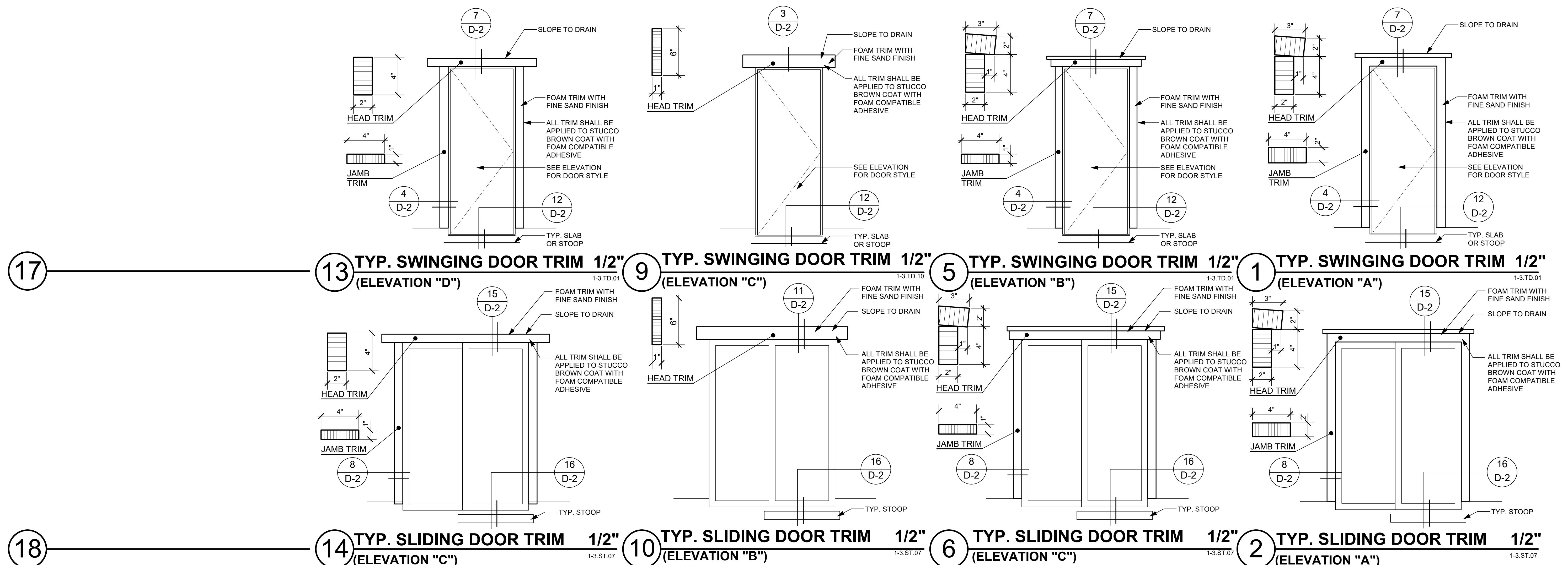
11-08-24  
DRB SUBMITTAL #2

PROJECT MANAGER:  
DRAWN BY:  
12/11/19  
**SHEET TITLE**

# WINDOW & GABLE END DETAILS

SHEET

D-1  
B46



OAG  
ARCHITECTS

938 Tyler Street #101  
Benicia, CA 94510  
P: 707.746.6586

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# THE BROOKS AT CREEKSIDE Antioch, California

JOB NO. :  
2428

**S-24**  
**SUBMITTAL #2**

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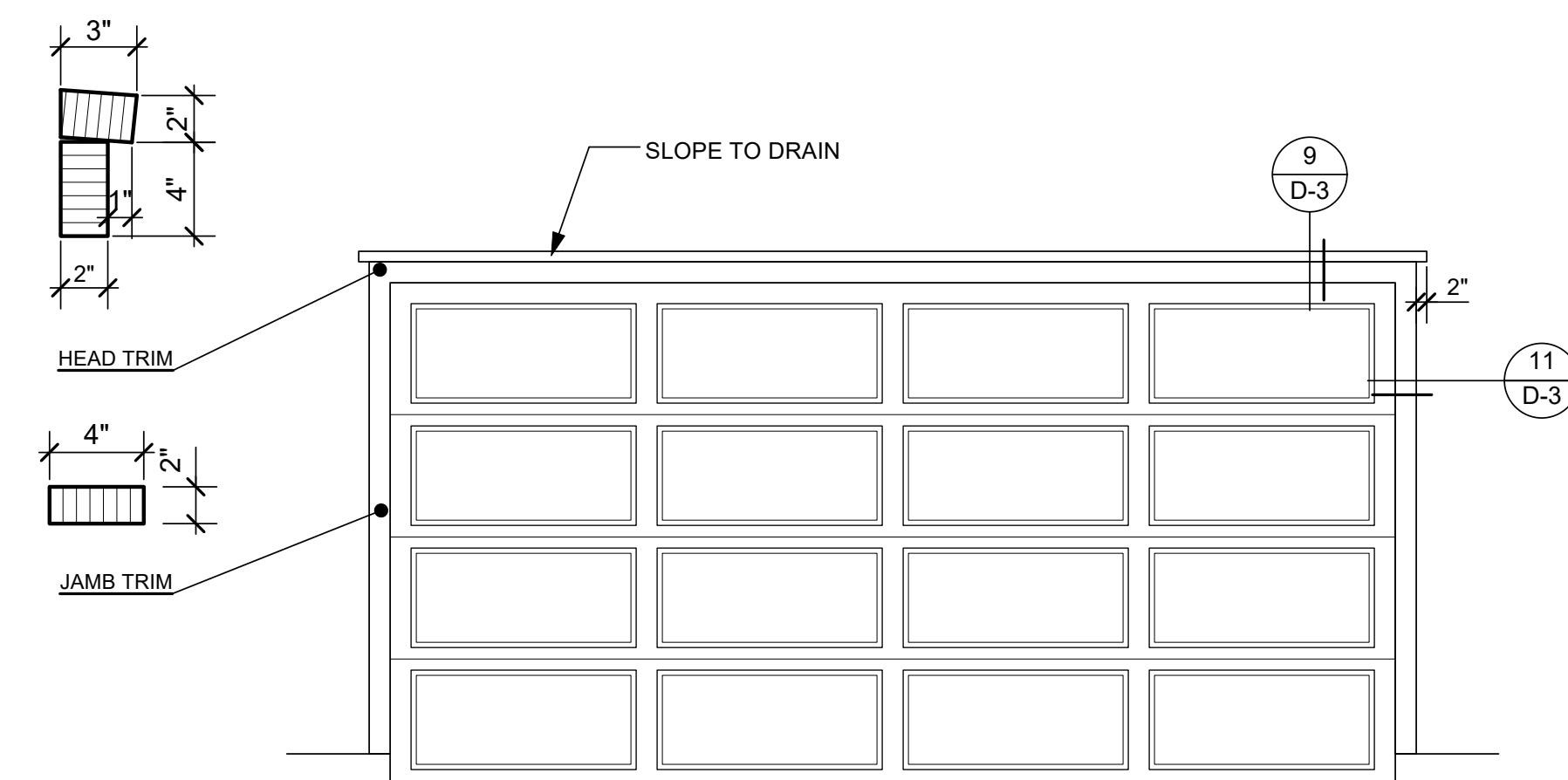
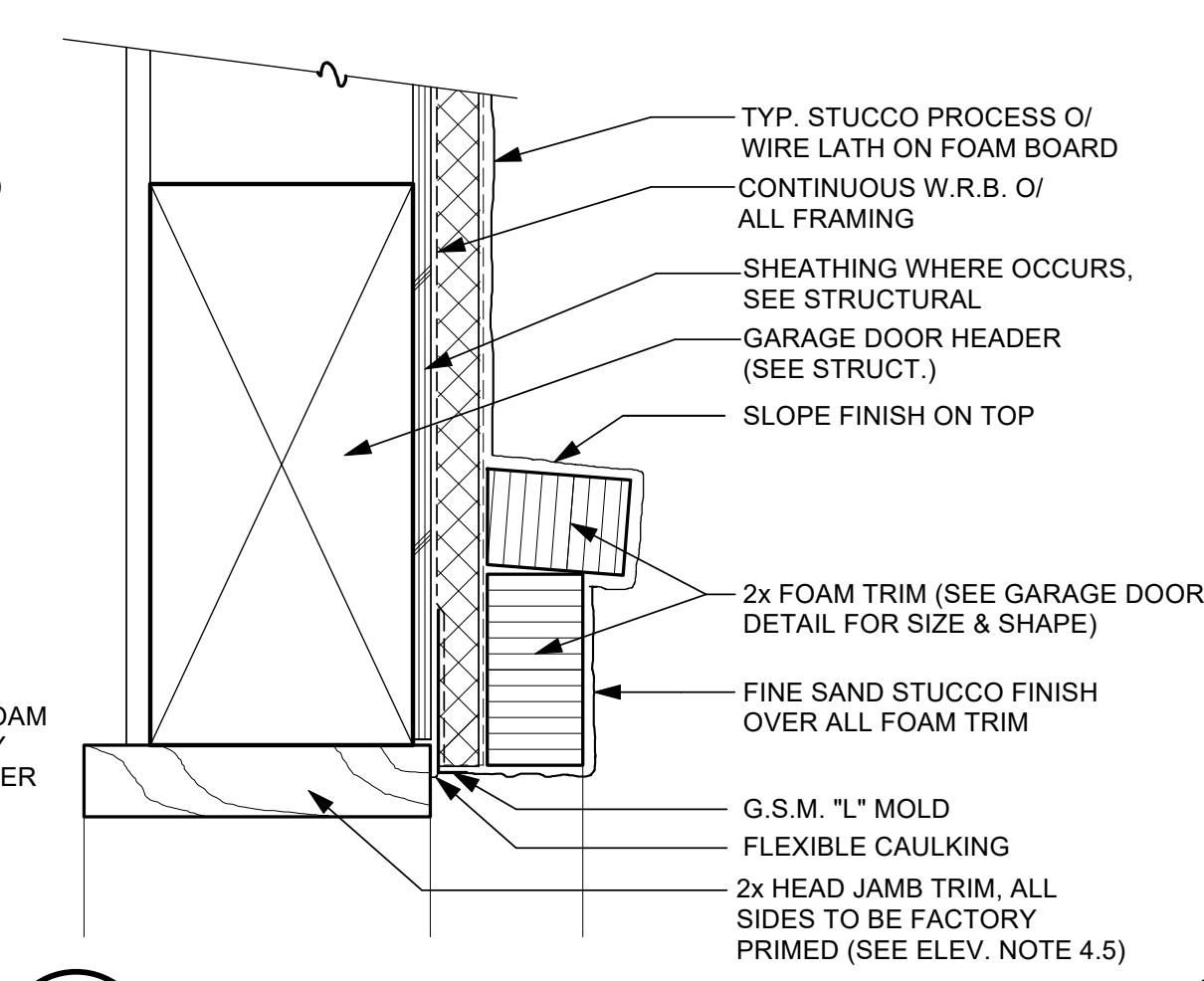
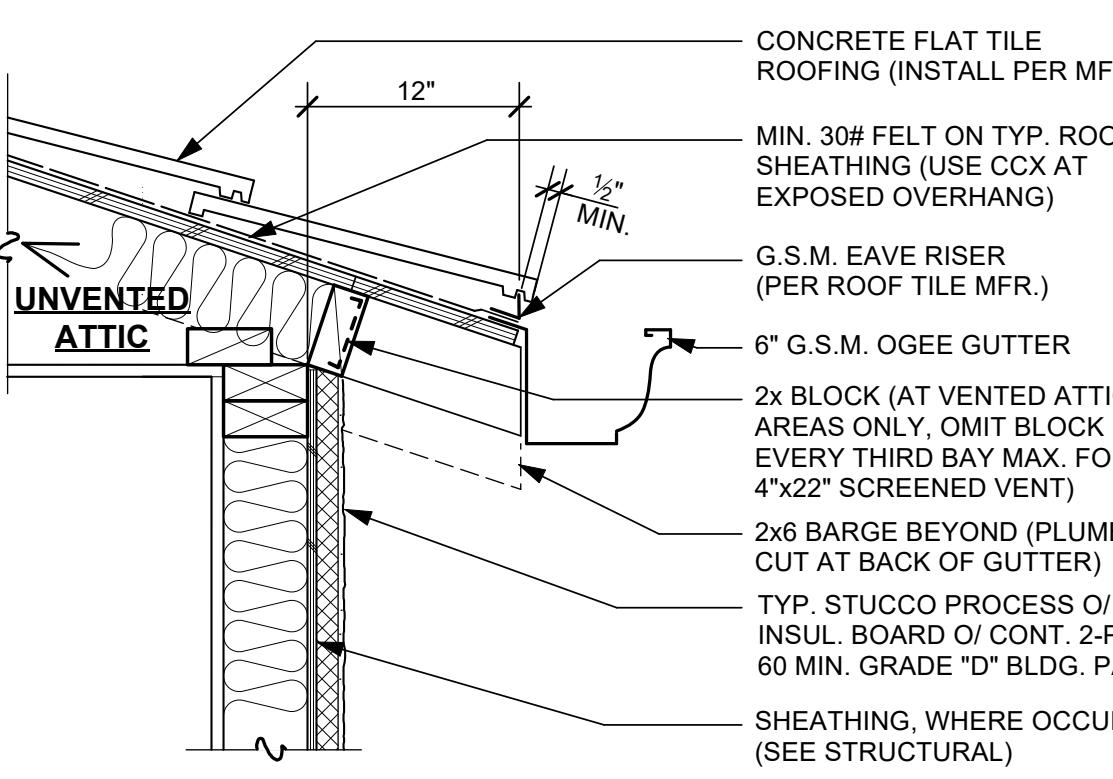
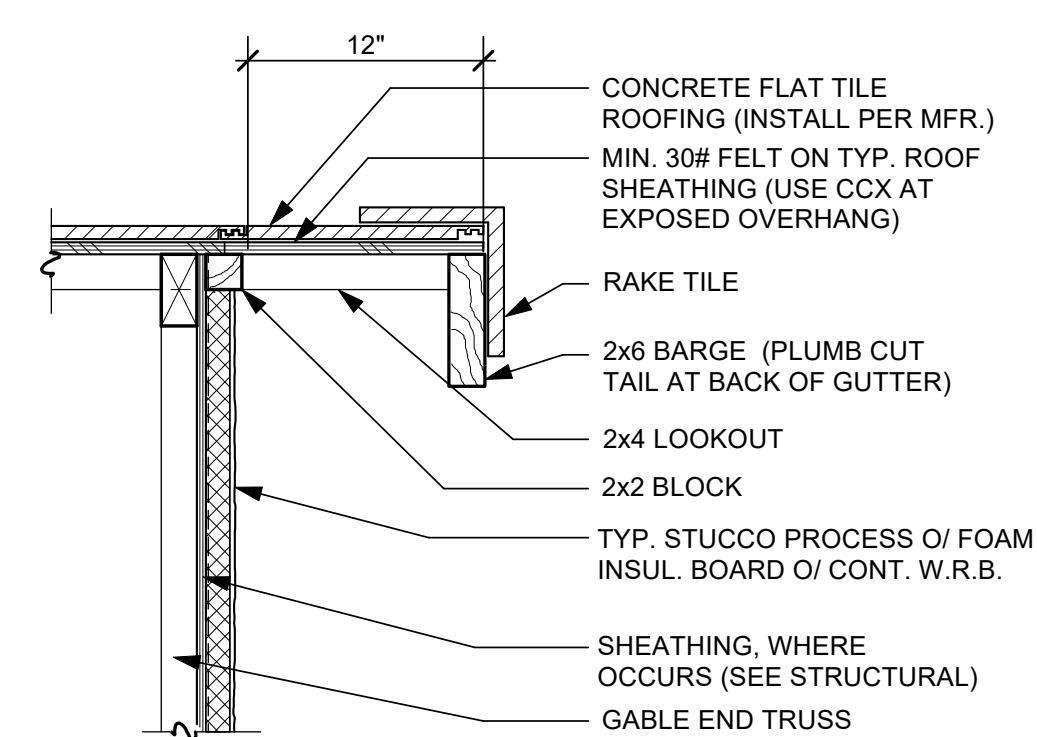
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## **PROPERTY TITLE AND PLANS**

**OOR  
TAILS**

SHEET

D-2  
B47



17 TYPICAL RAKE

1 1/2"

13 TYPICAL EAVE

1-1.RT.06

1 1/2"

9 GARAGE DOOR HEAD  
(STUCCO SIDING)

1-3.GSH.91

5 TYP. GARAGE DOOR TRIM  
(ELEVATION "A")

3/8"

1-3.GST.07

18 CANTILEVER  
(WITH FOAM TRIM)

14

10 GARAGE DOOR HEAD  
(STUCCO SIDING)

1-4.C.49

3"

1-3.GSH.91

6 TYP. GARAGE DOOR TRIM  
(ELEVATION "B")

3/8"

1-3.GST.07

15

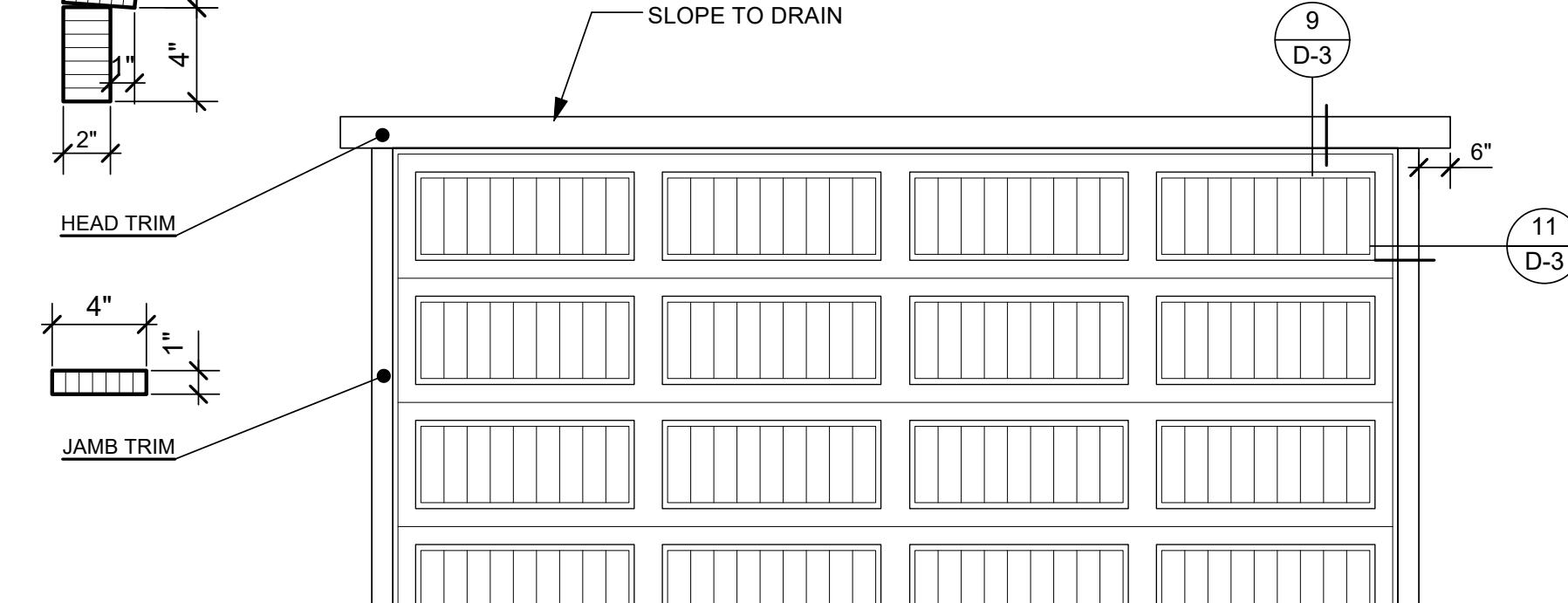
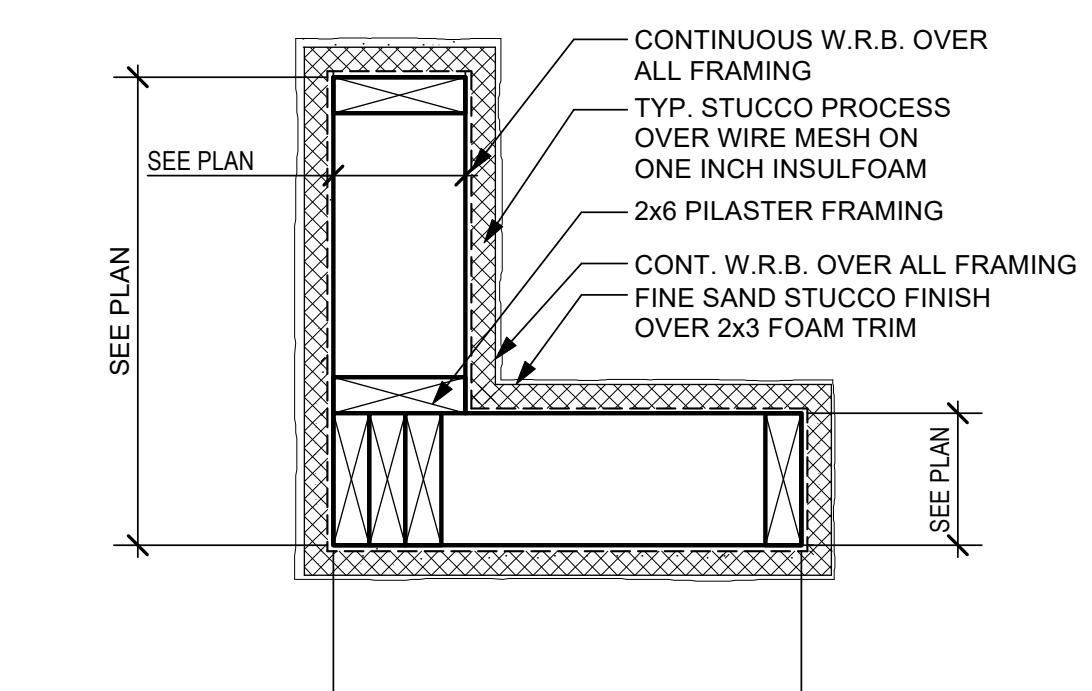
11 GARAGE DOOR JAMB  
(STUCCO SIDING W/ FOAM TRIM)

1-3.GSJ.104

7 GARAGE DOOR TRIM (TYPICAL)  
(ELEVATION "C")

3/8"

3"



20

16

12 PILASTER POST BASE  
(@ OUTDOOR LIVING OPTION)

1-1/2"

8 TYP. GARAGE DOOR TRIM  
(ELEVATION "D")

3/8"

1-3.GST.07



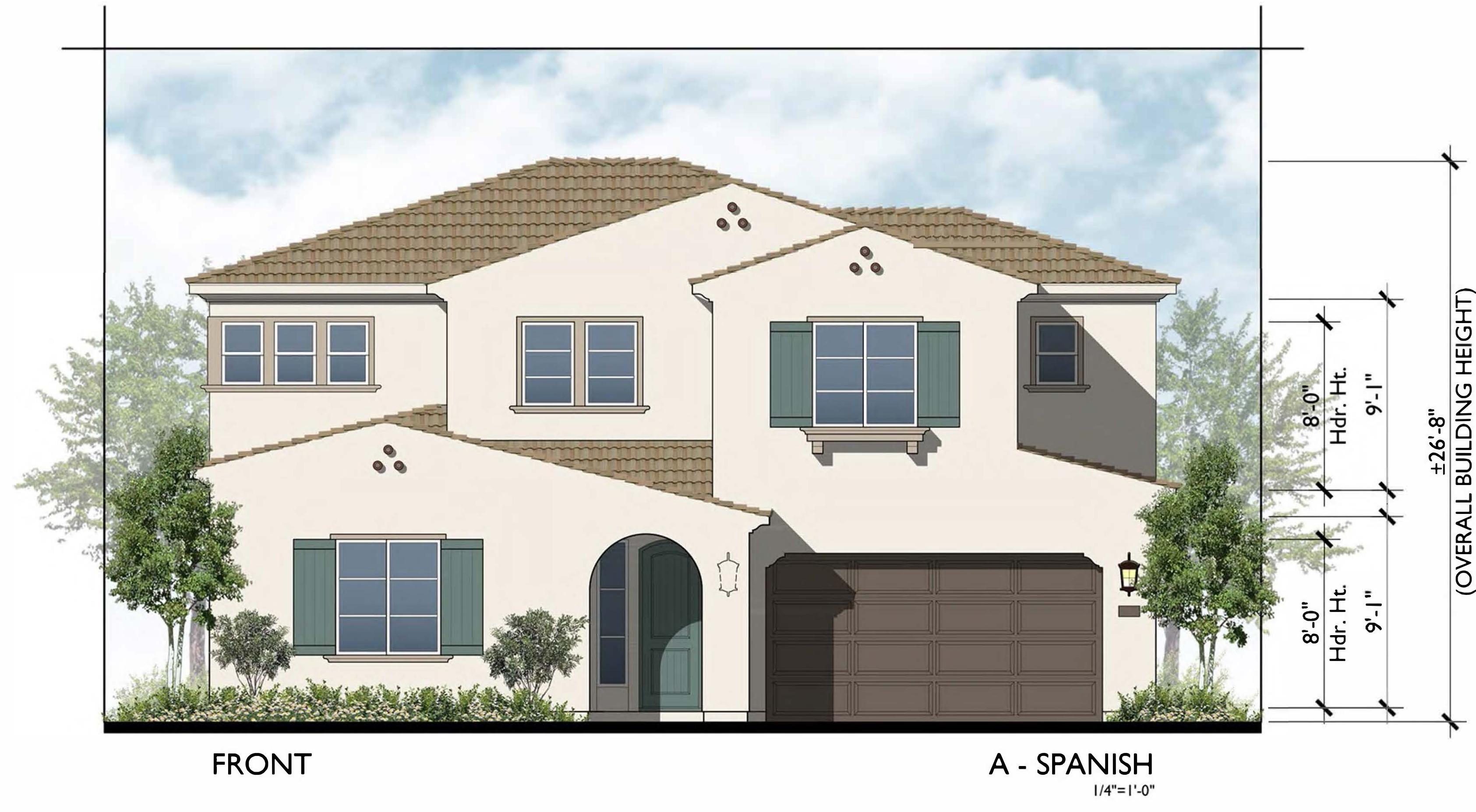


PLAN 1  
SPANISH

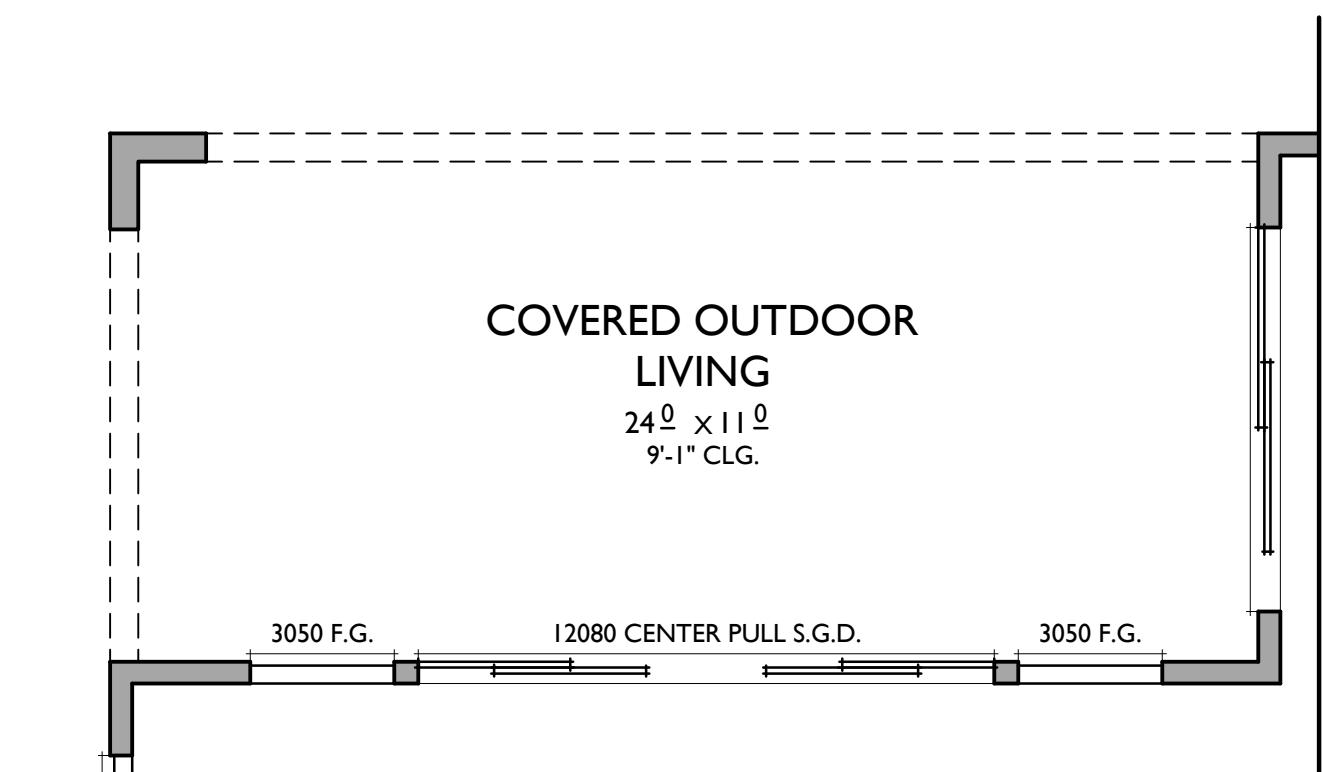
PLAN 2  
AMERICAN FARMHOUSE

PLAN 3  
TUSCAN

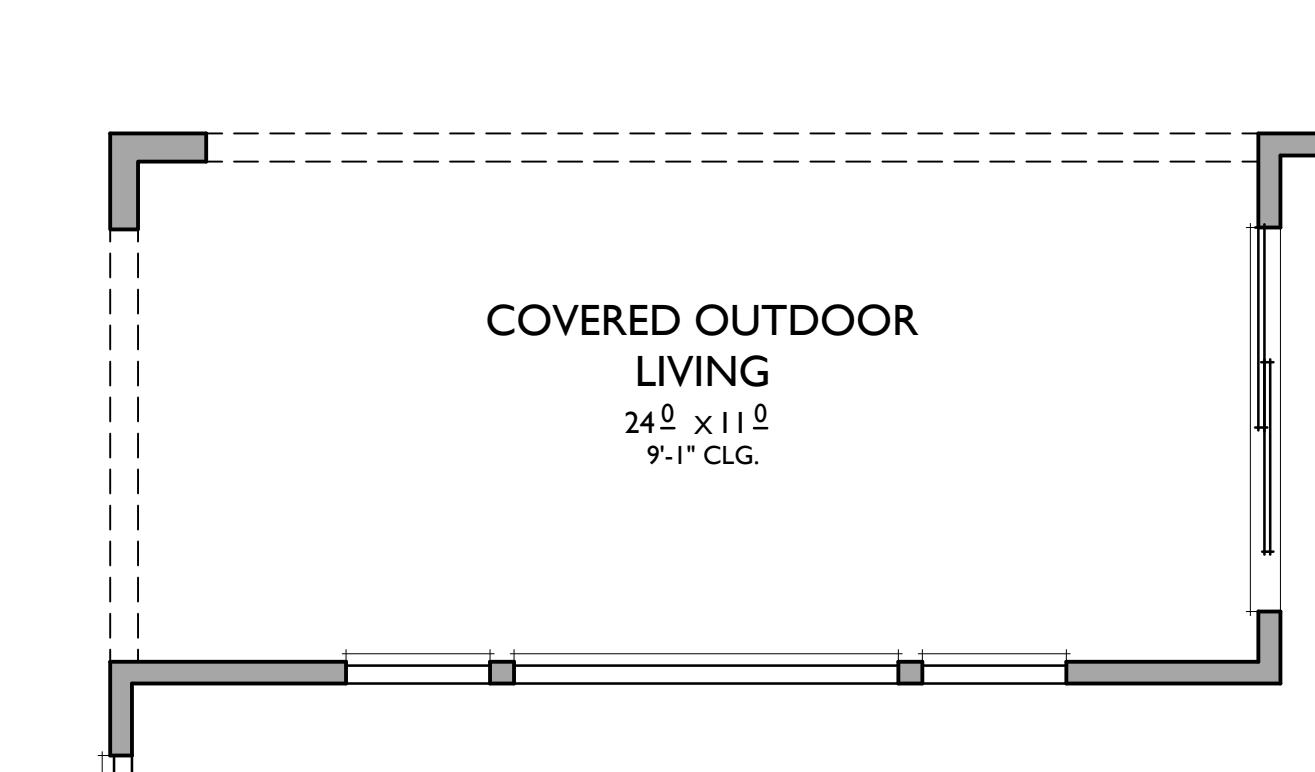
**TRAILS AT CREEKSIDE**  
 55' x 90' SFD  
 Antioch, California



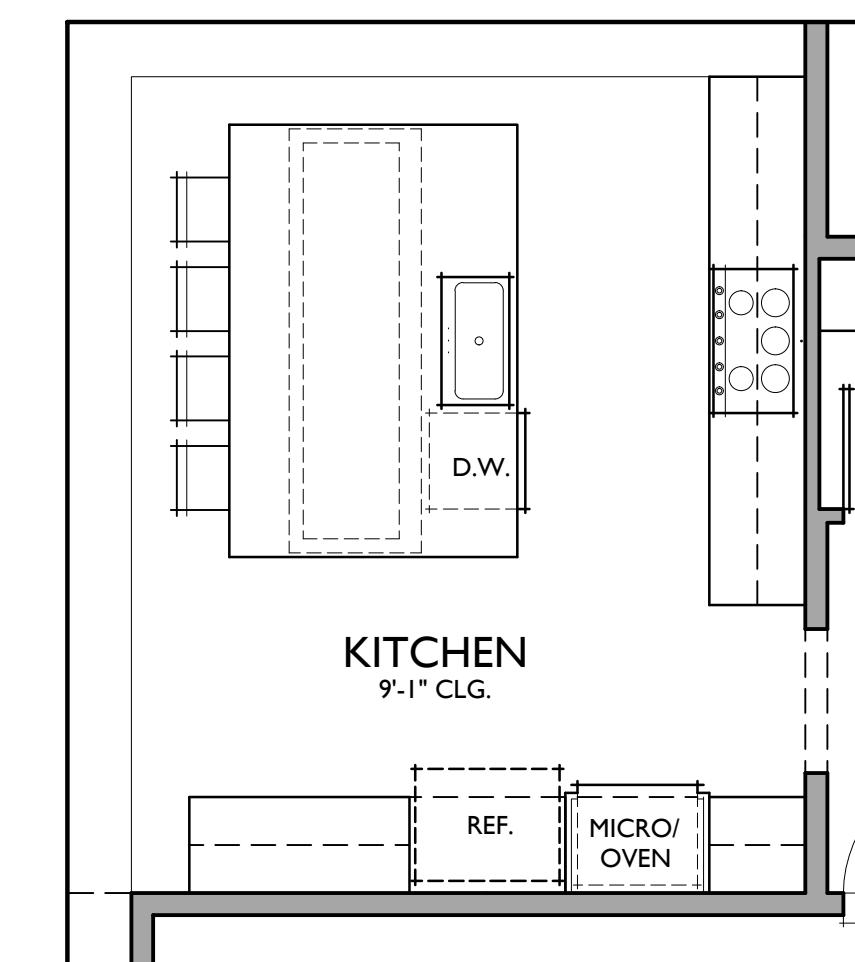




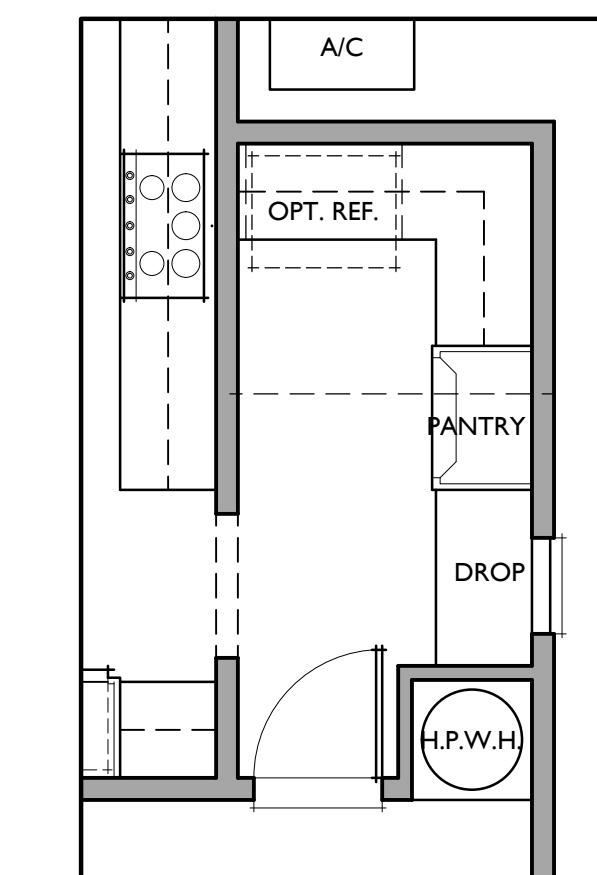
**OPT. 12080 CENTER PULL S.G.D.**



**OPT. COVERED OUTDOOR LIVING**

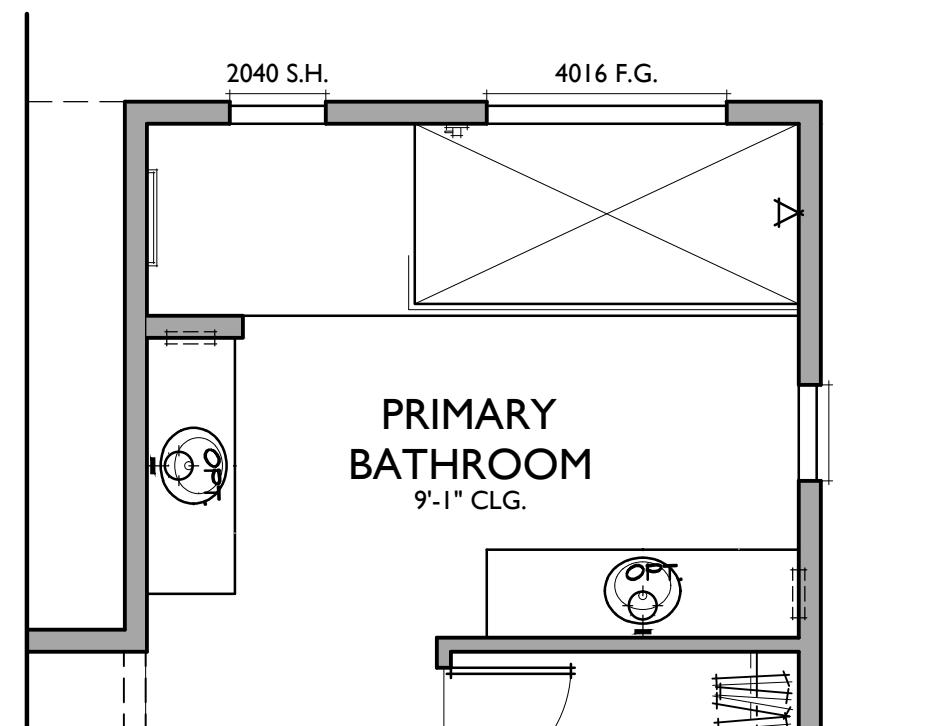


**OPT. EXTENDED ISLAND**



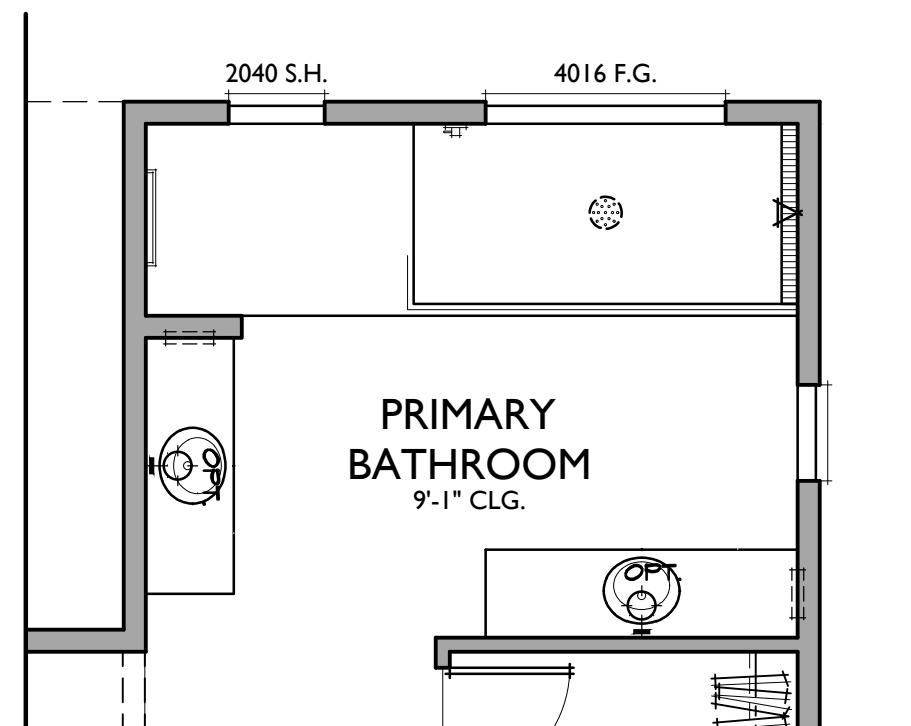
**OPT. BUILT-IN PANTRY**

IN LIEU OF WALK-IN PANTRY



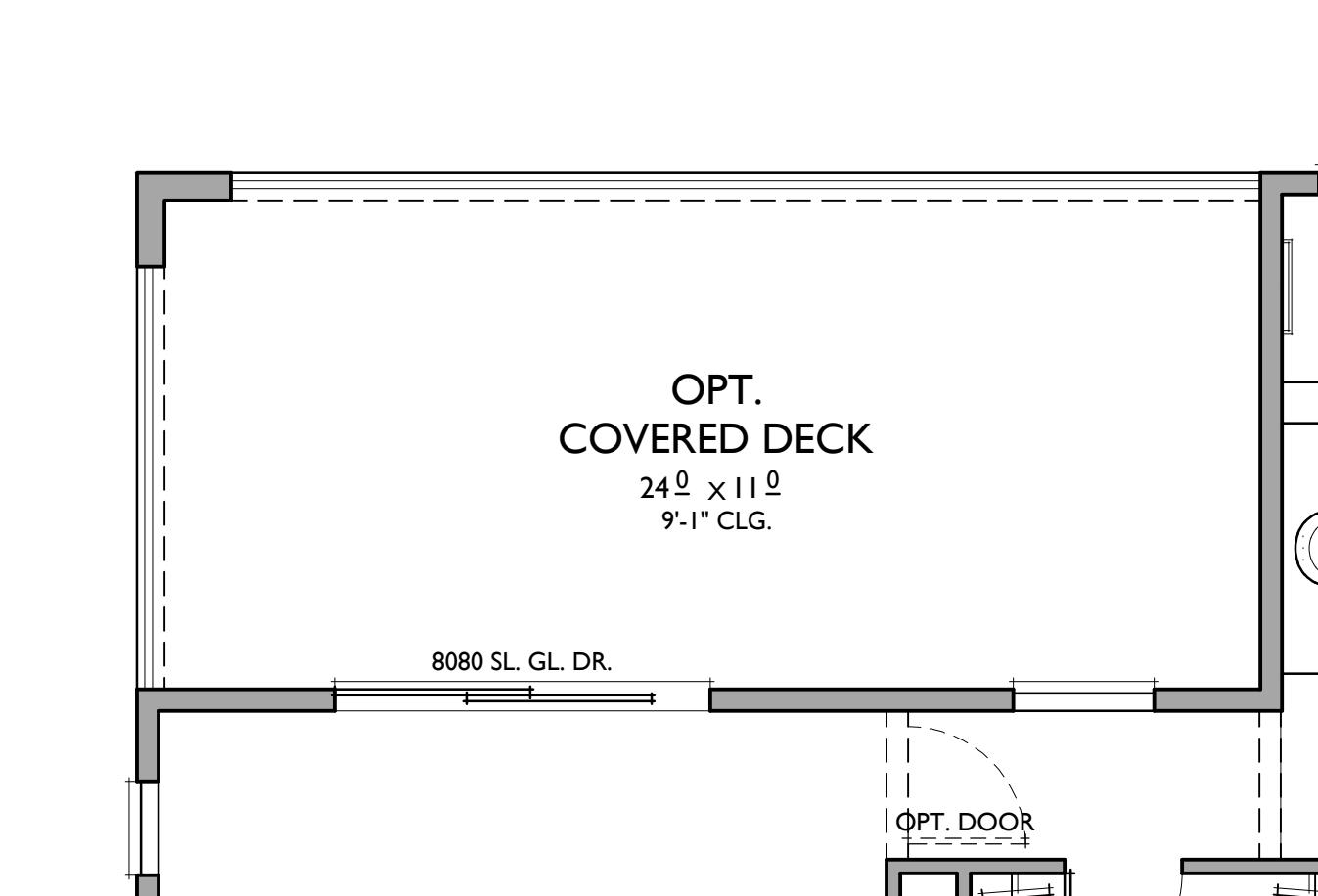
**OPTIONAL SUPER SHOWER**

IN LIEU OF TUB



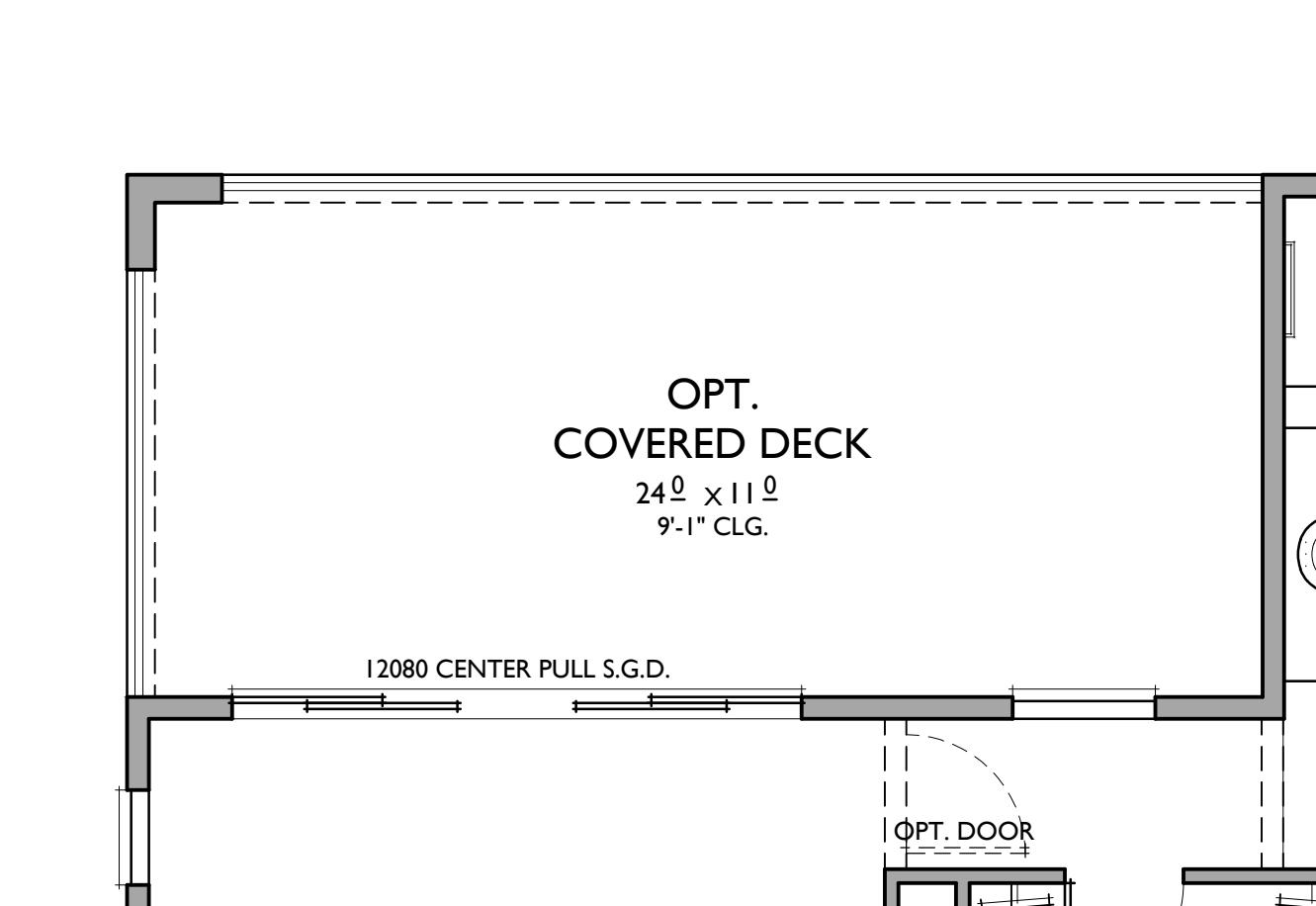
**OPTIONAL SPA SHOWER**

IN LIEU OF TUB



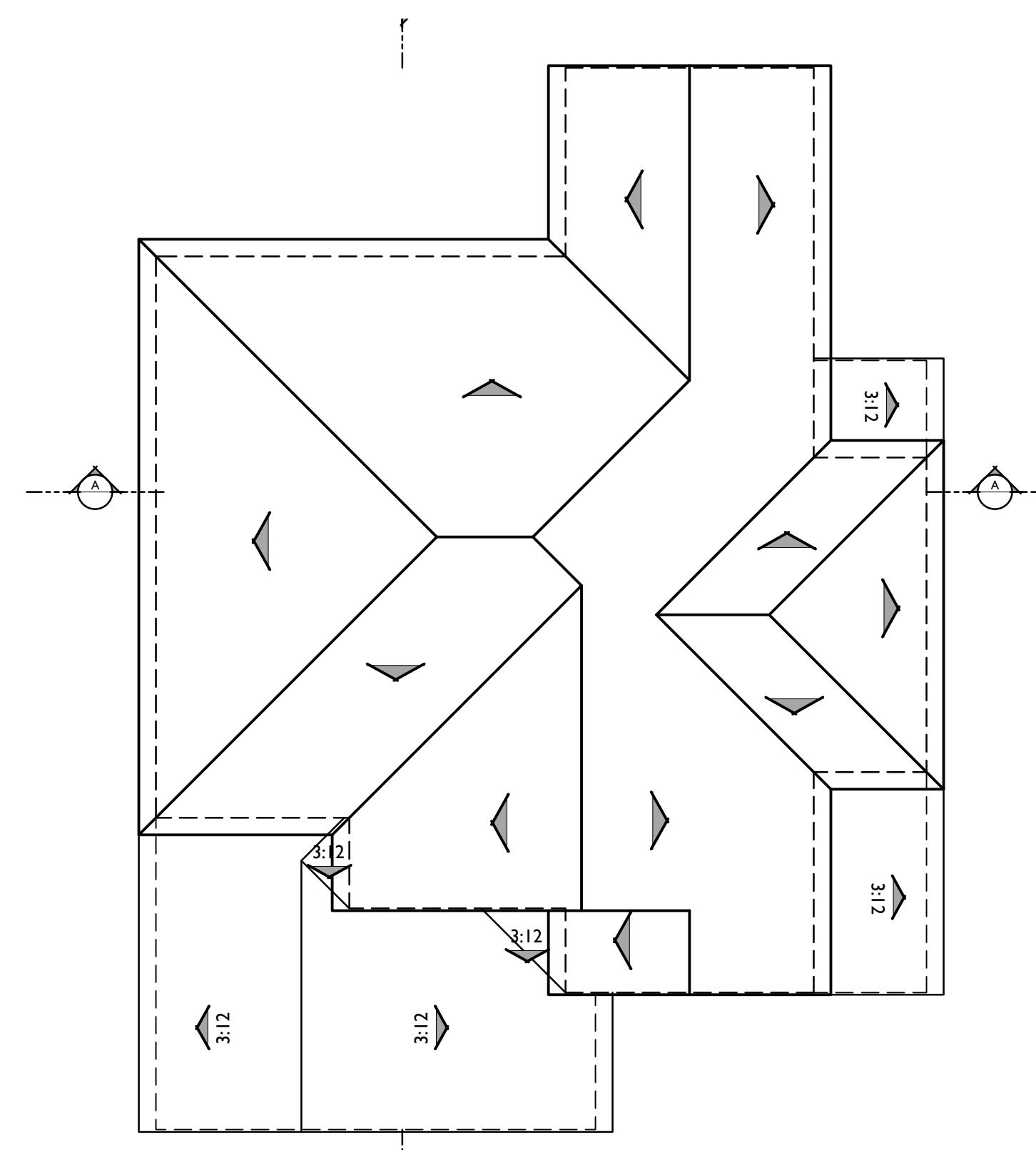
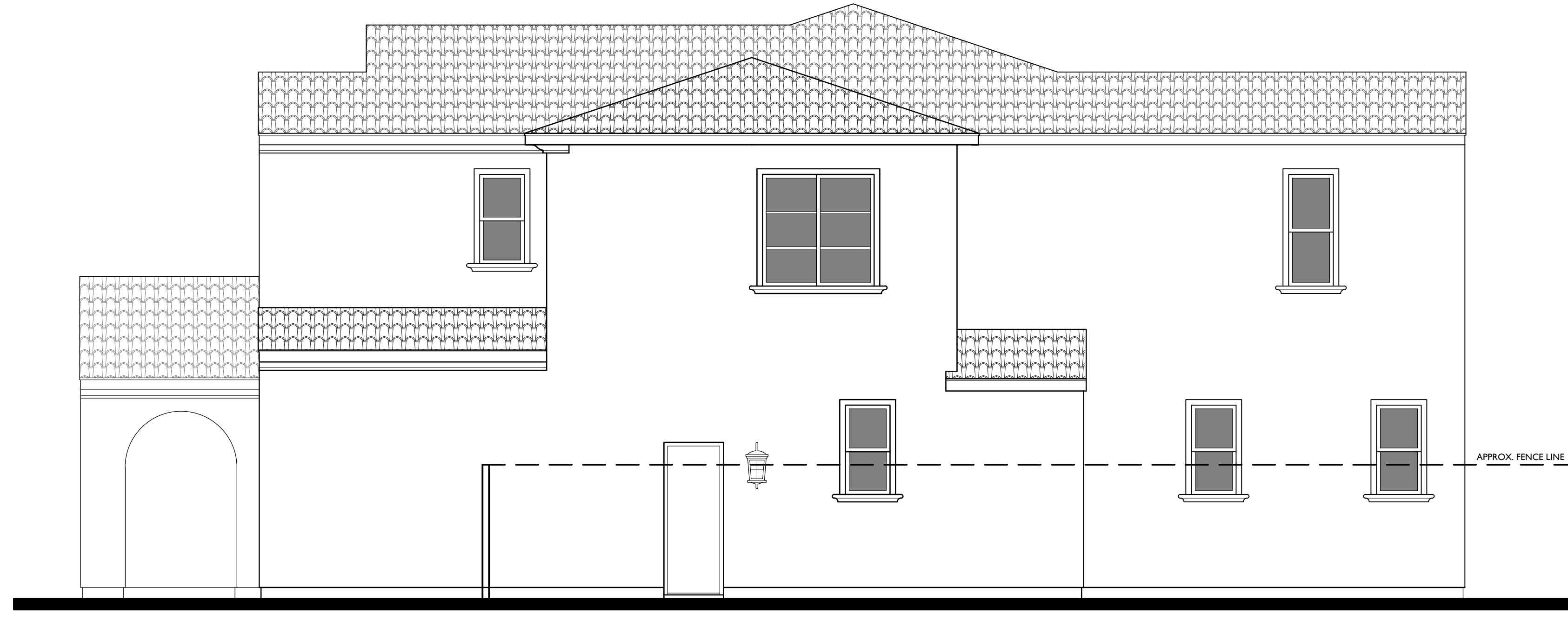
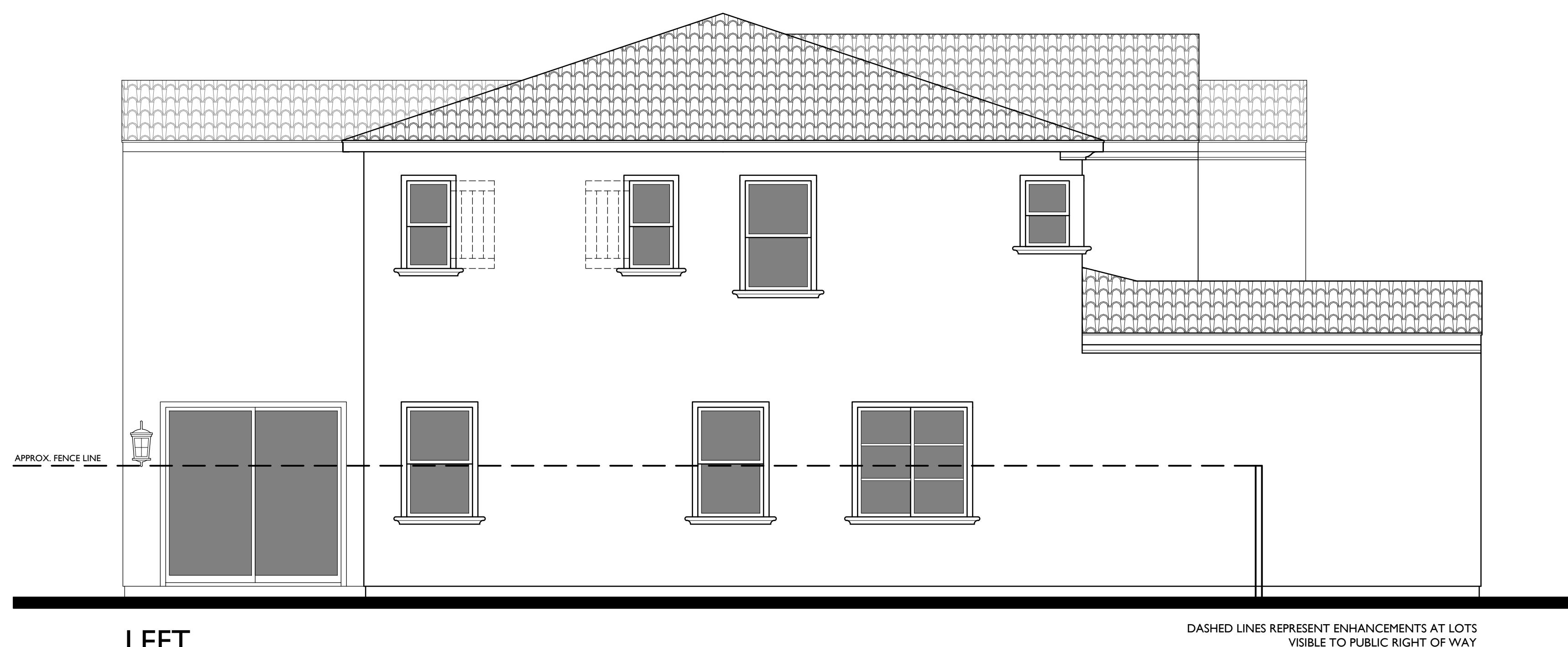
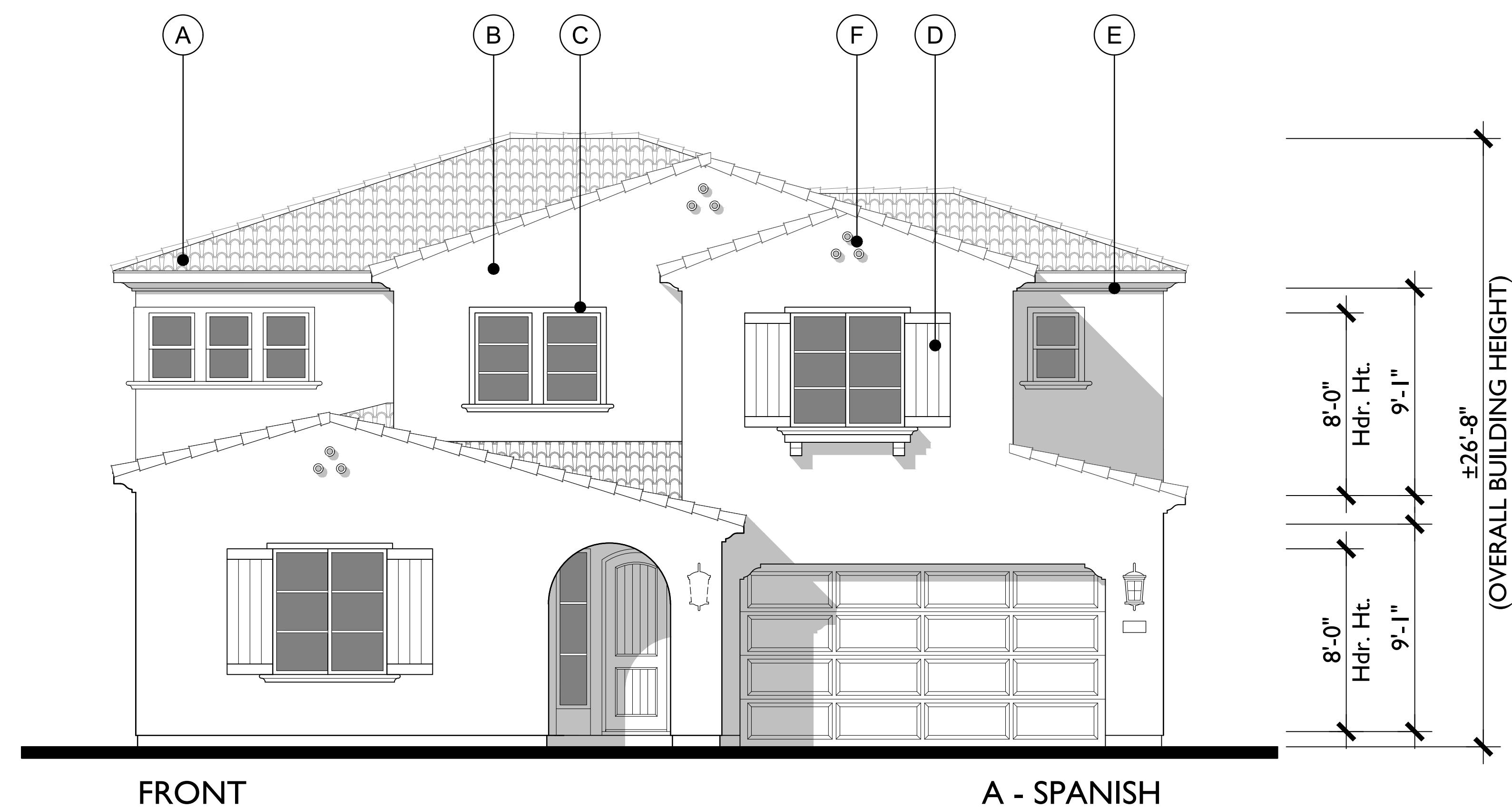
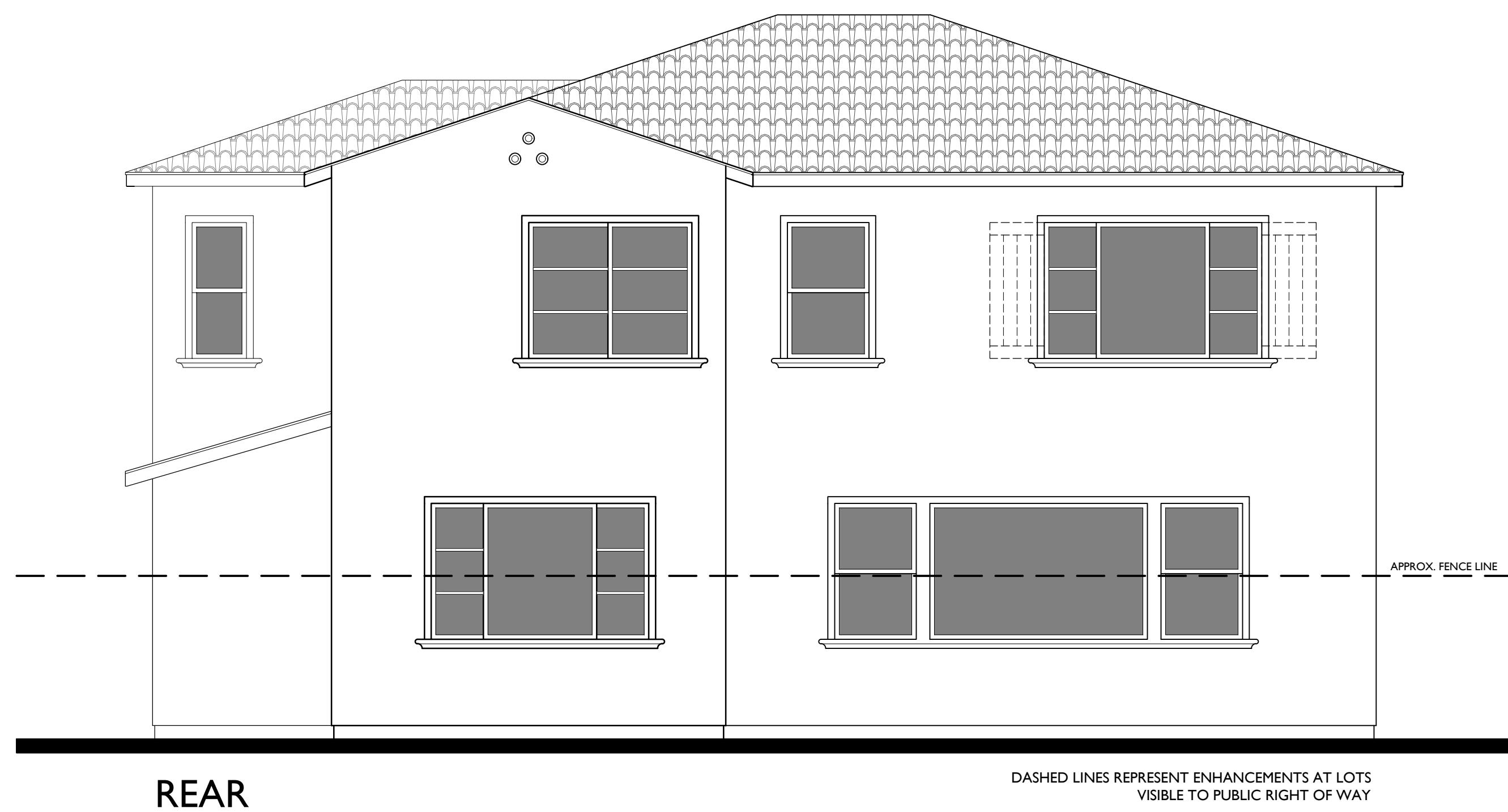
**OPTIONAL COVERED DECK**

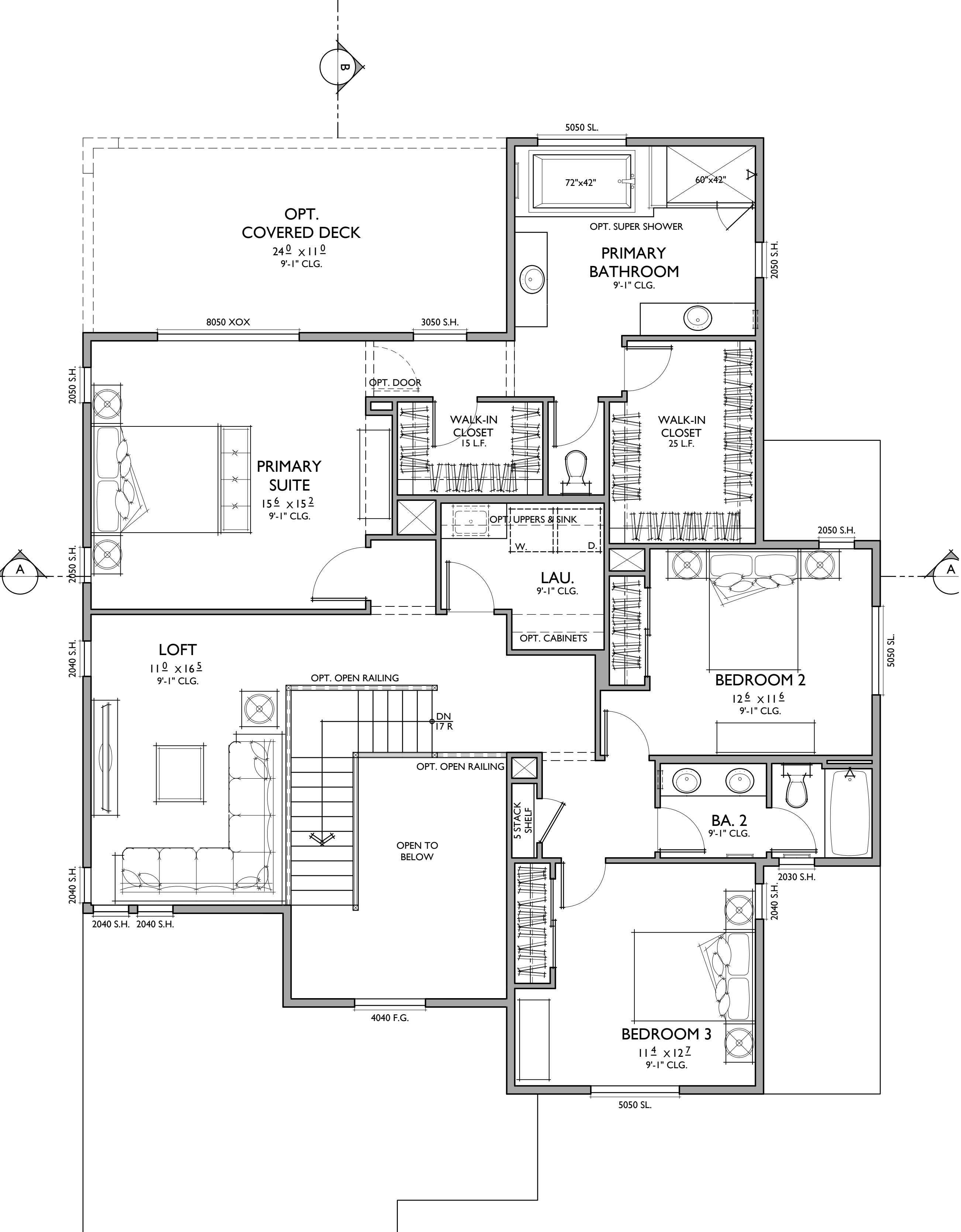
AT PRIMARY SUITE



**OPTIONAL COVERED DECK**

w/ I2080 CENTER PULL S.G.D.





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**PLAN IB**  
Reflects American Farmhouse Elevation  
**TRAILS AT CREEKSIDE 55X90 SFD**

2031 Orchard Drive, Suite 100  
Newport Beach, CA USA 92660  
tel: +1 949 553 8100  
fax: +1 949 553 0548

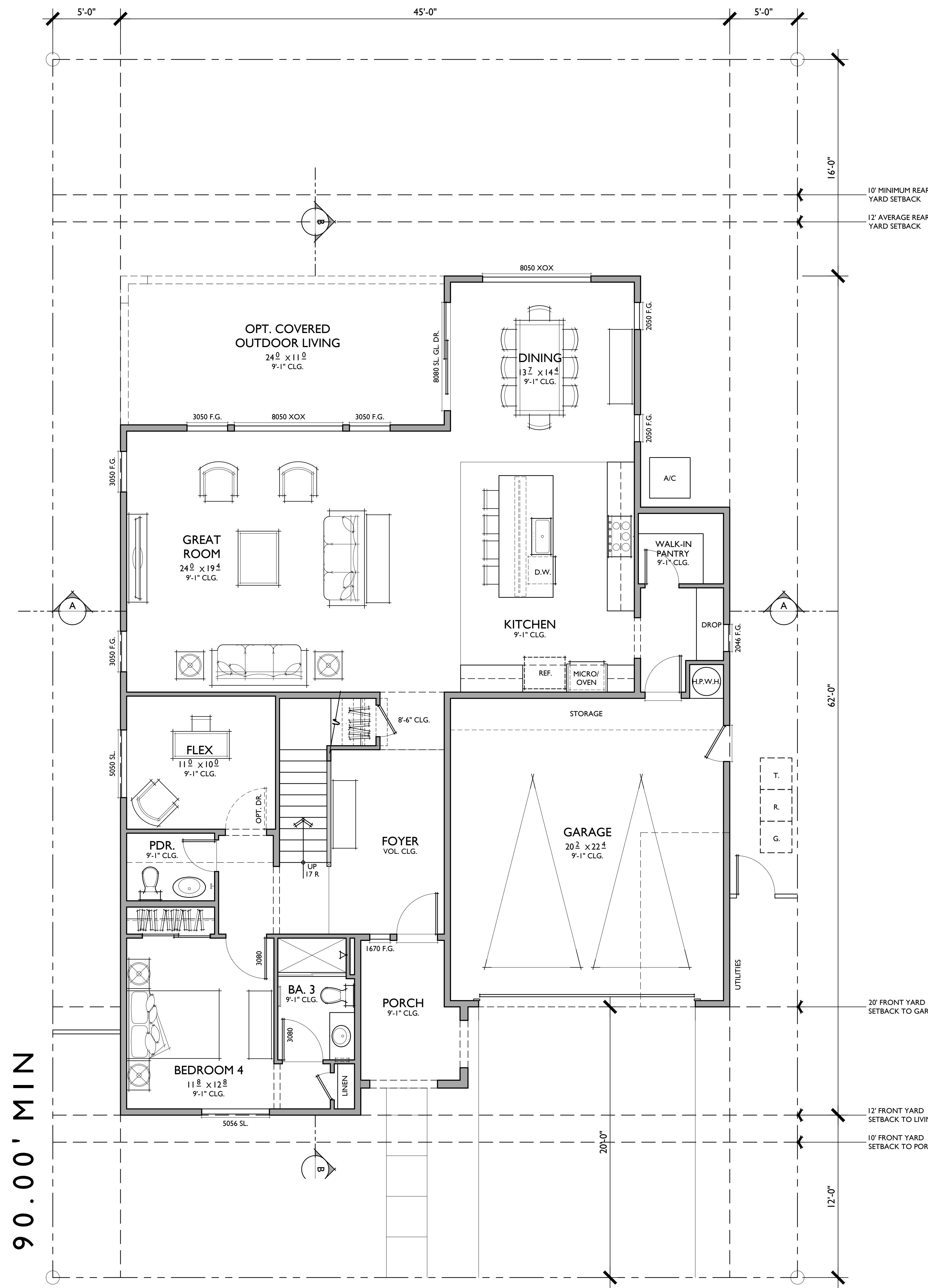
Antioch, California

0 2 4 8

667.24253

90.00' MIN

55.00' MIN



**PLAN IB**  
**3,238 SQ. FT.**  
4 BEDROOMS / 3 BATHS  
2 - CAR GARAGE

**FLOOR AREA TABLE**

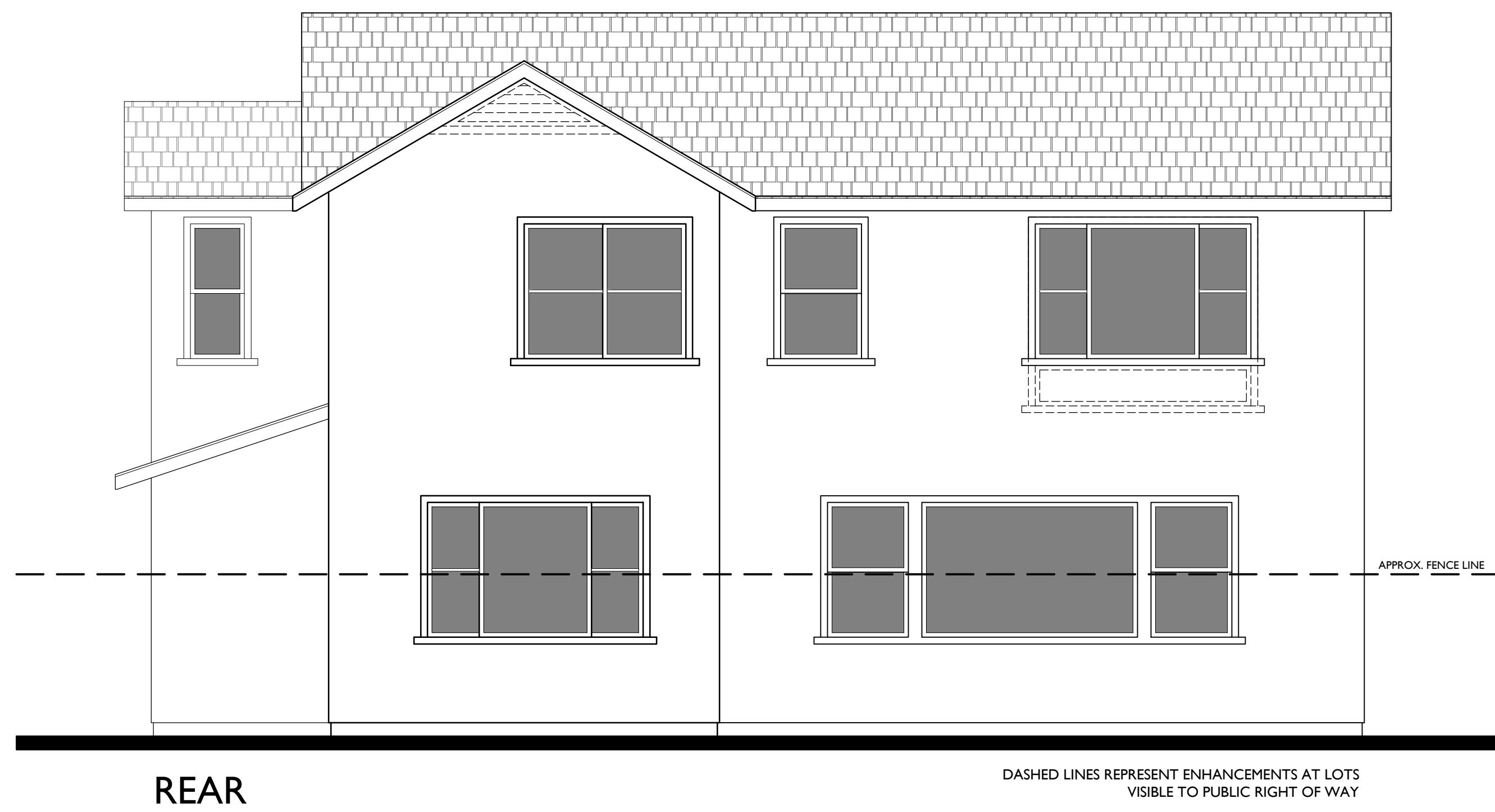
1ST FLOOR	1,687 SQ. FT.
2ND FLOOR	1,551 SQ. FT.
<b>TOTAL LIVING</b>	<b>3,238 SQ. FT.</b>
2 - CAR GARAGE	480 SQ. FT.
COVERED OUTDOOR LIVING	263 SQ. FT.
PORCH	78 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

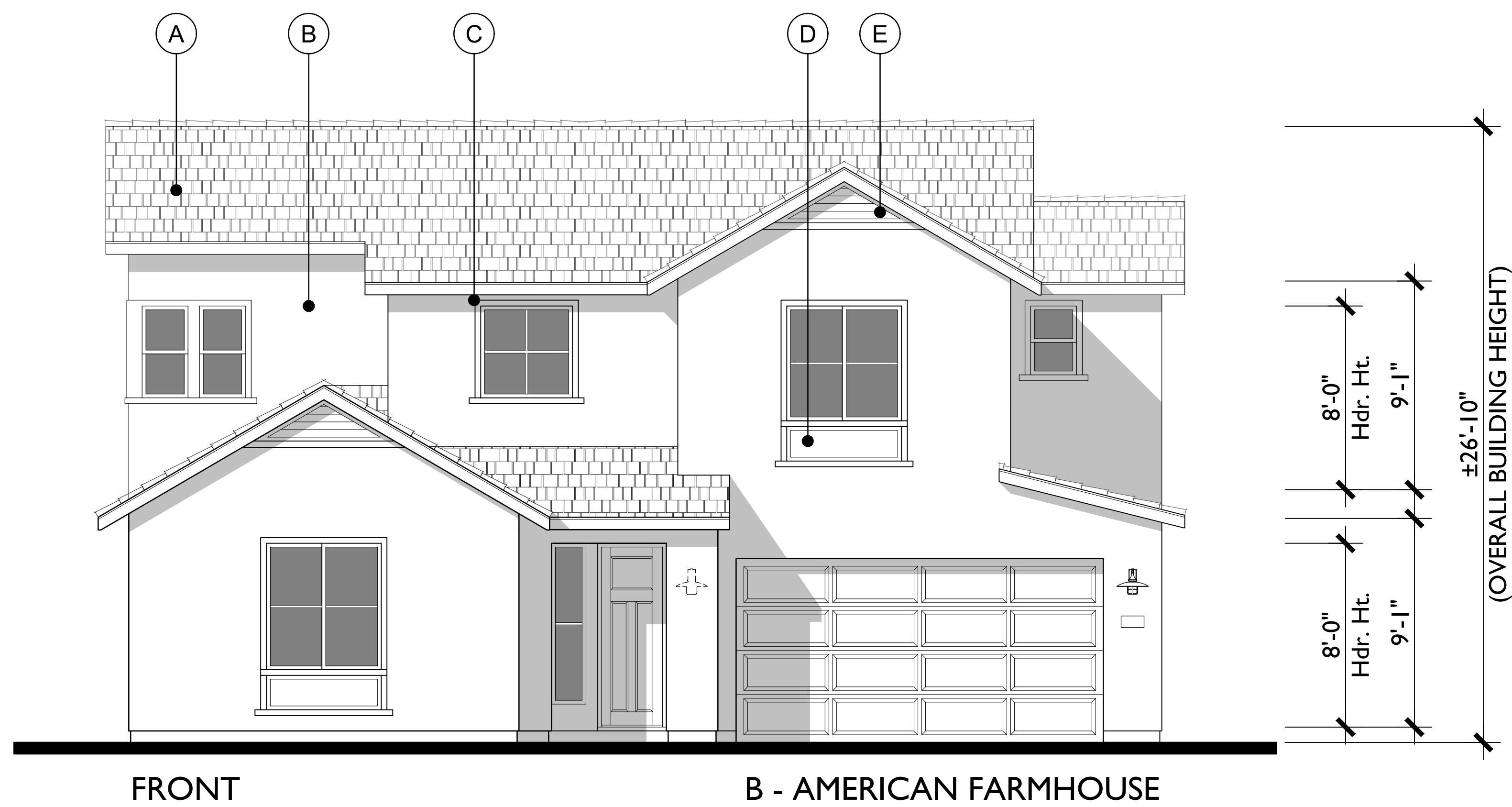
12.06.24

**SHEET**  
**A1.05**

**tri pointe**  
HOME B55



REAR



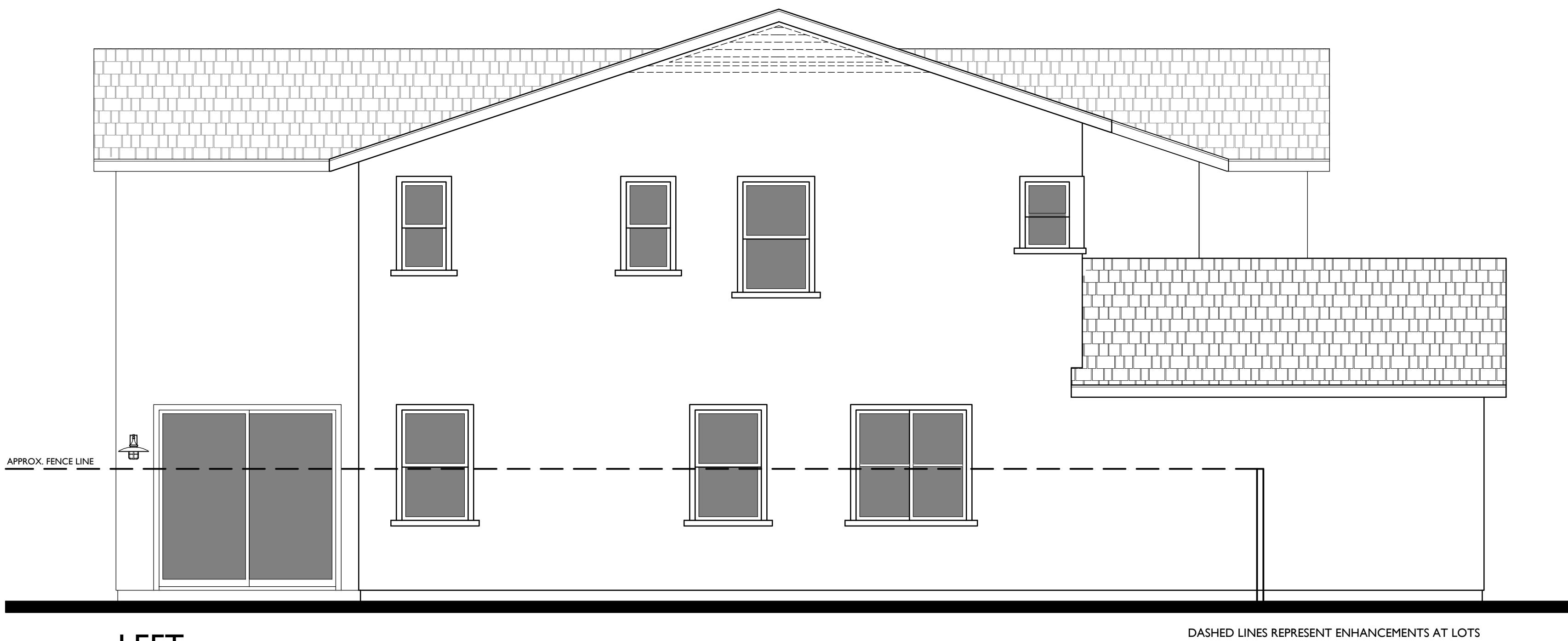
FRONT

B - AMERICAN FARMHOUSE

1/4"=1'-0"

**MATERIAL LEGEND**

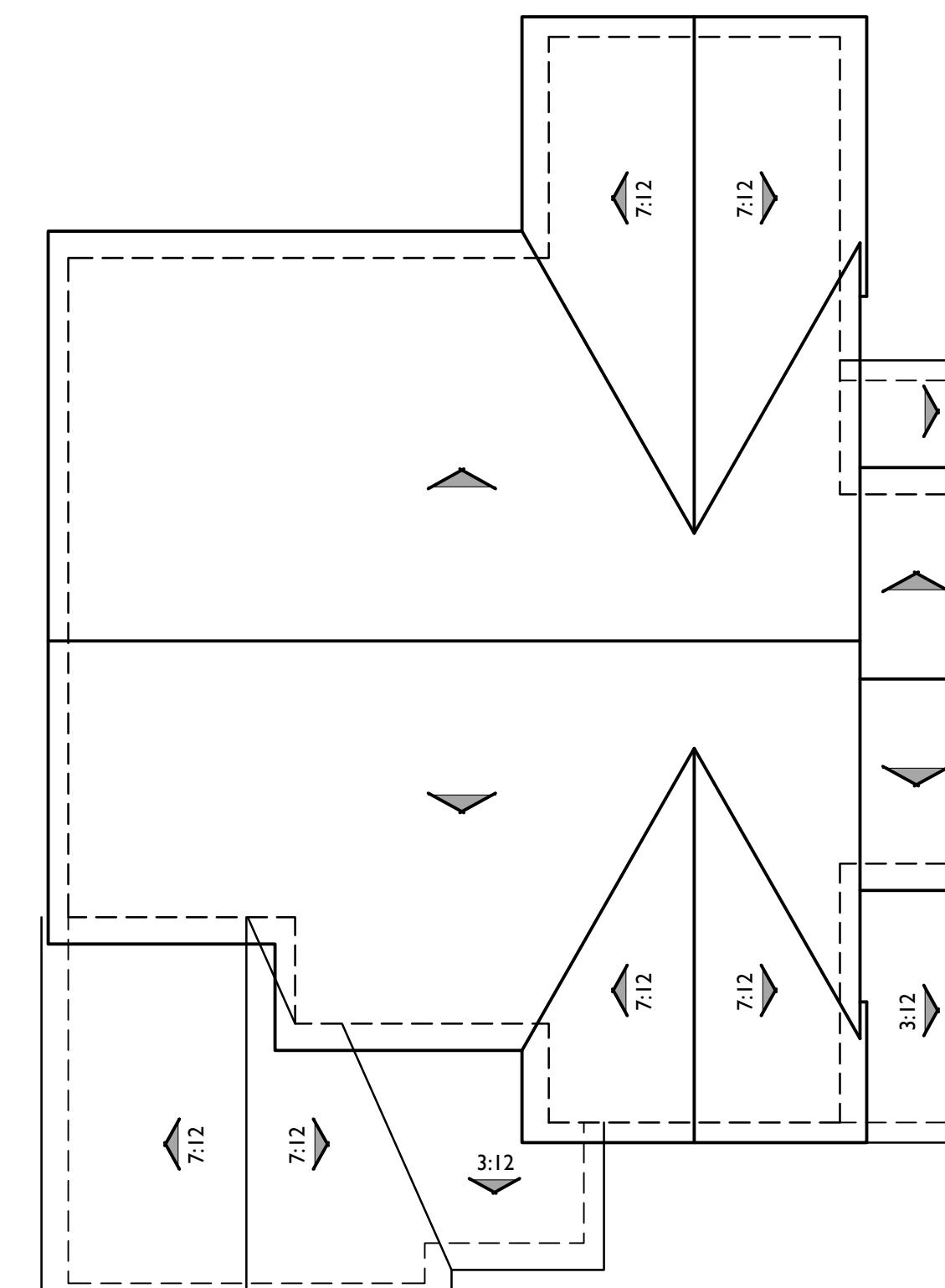
- A. FLAT CONCRETE TILE
- B. SAND FINISH STUCCO
- C. STUCCO OVER FOAM TRIM
- D. DECORATIVE HARDIE PANEL
- E. HORIZONTAL SIDING



LEFT

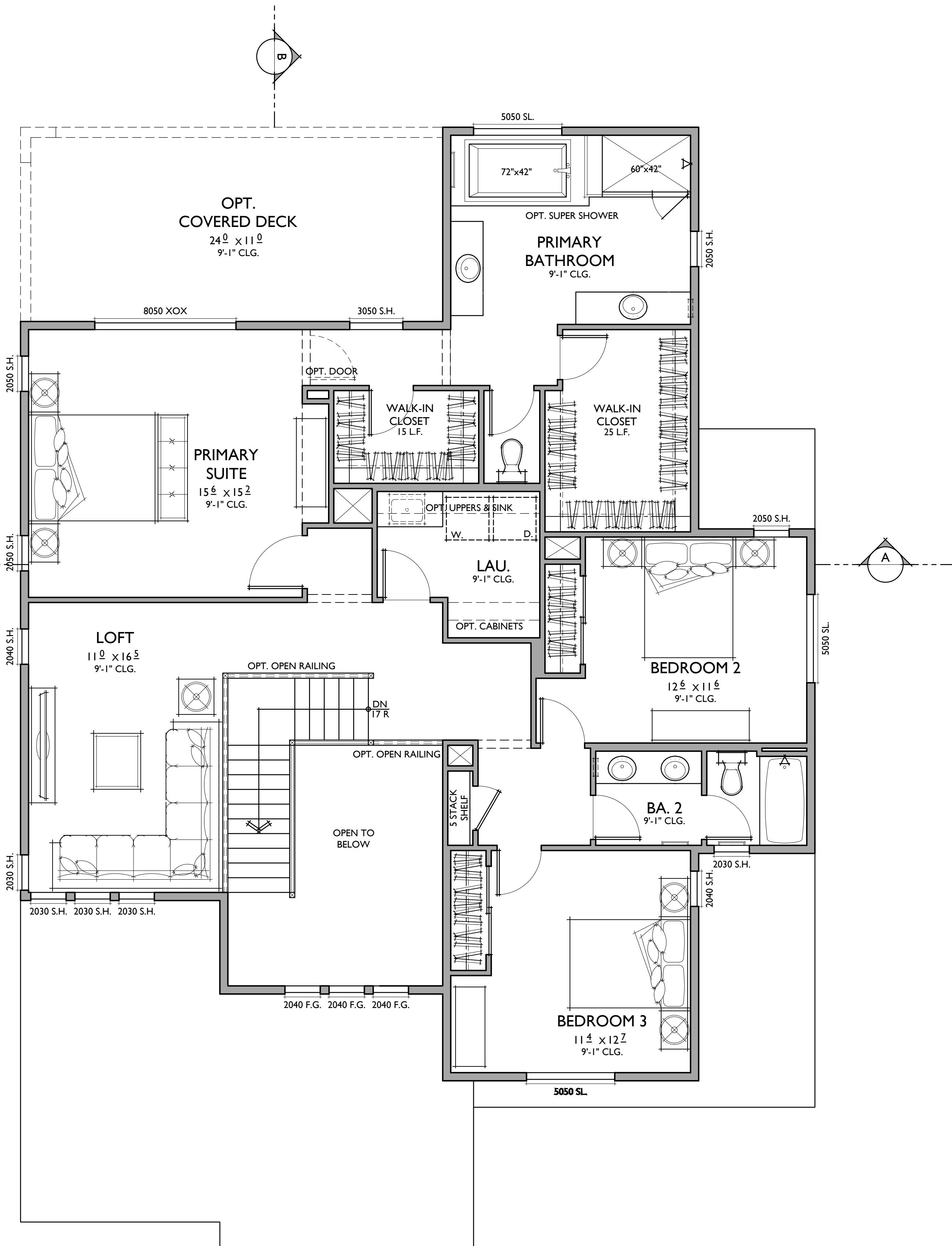


RIGHT



ROOF PLAN B

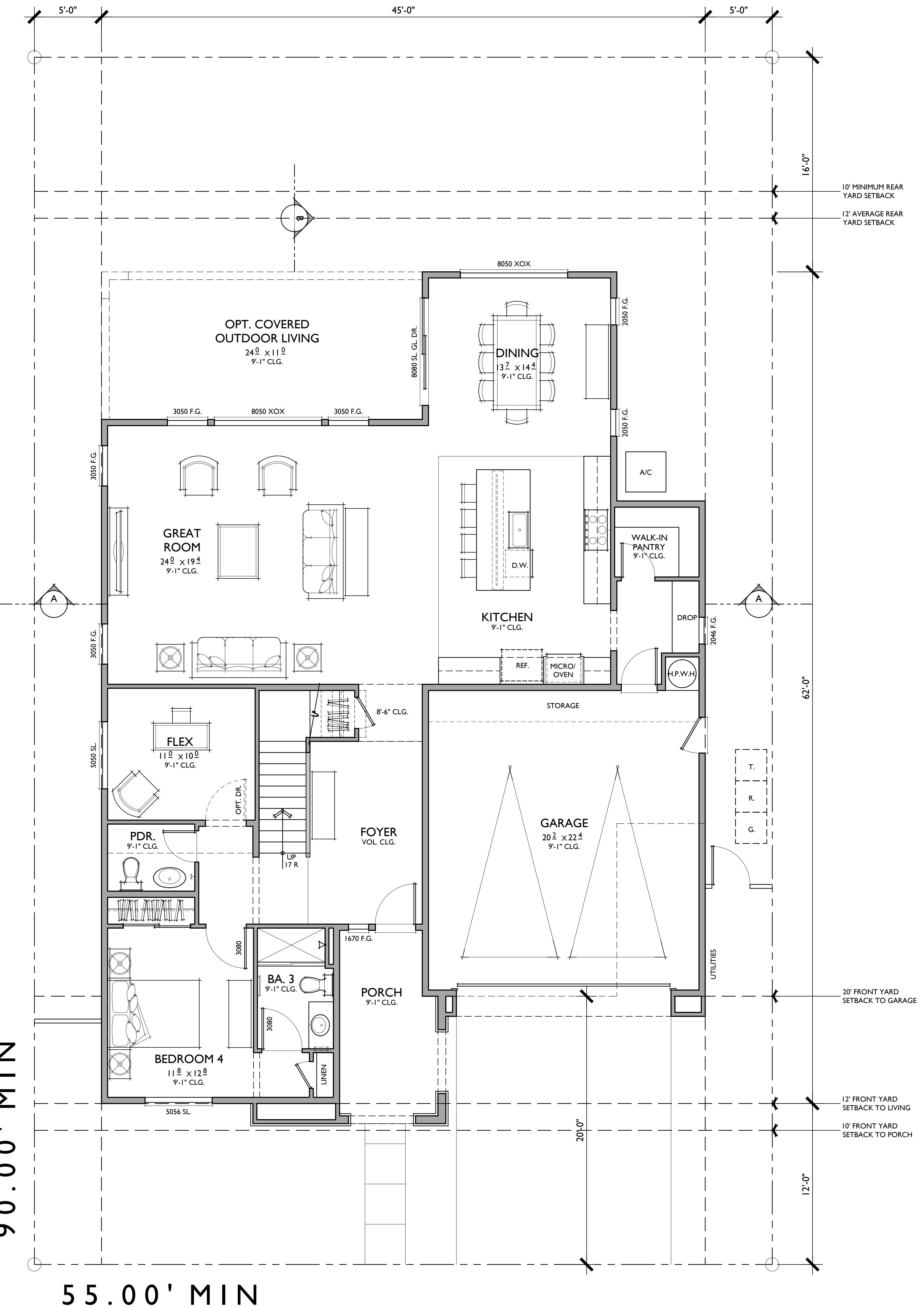
PITCH: 4:12 U.N.O.  
RAKE: 12°  
EAVE: 16°  
ROOF MATERIAL: FLAT CONCRETE TILE



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**PLAN ID**  
Reflects Tuscan Elevation  
**TRAILS AT CREEKSIDE 55X90 SFD**



# PLAN ID

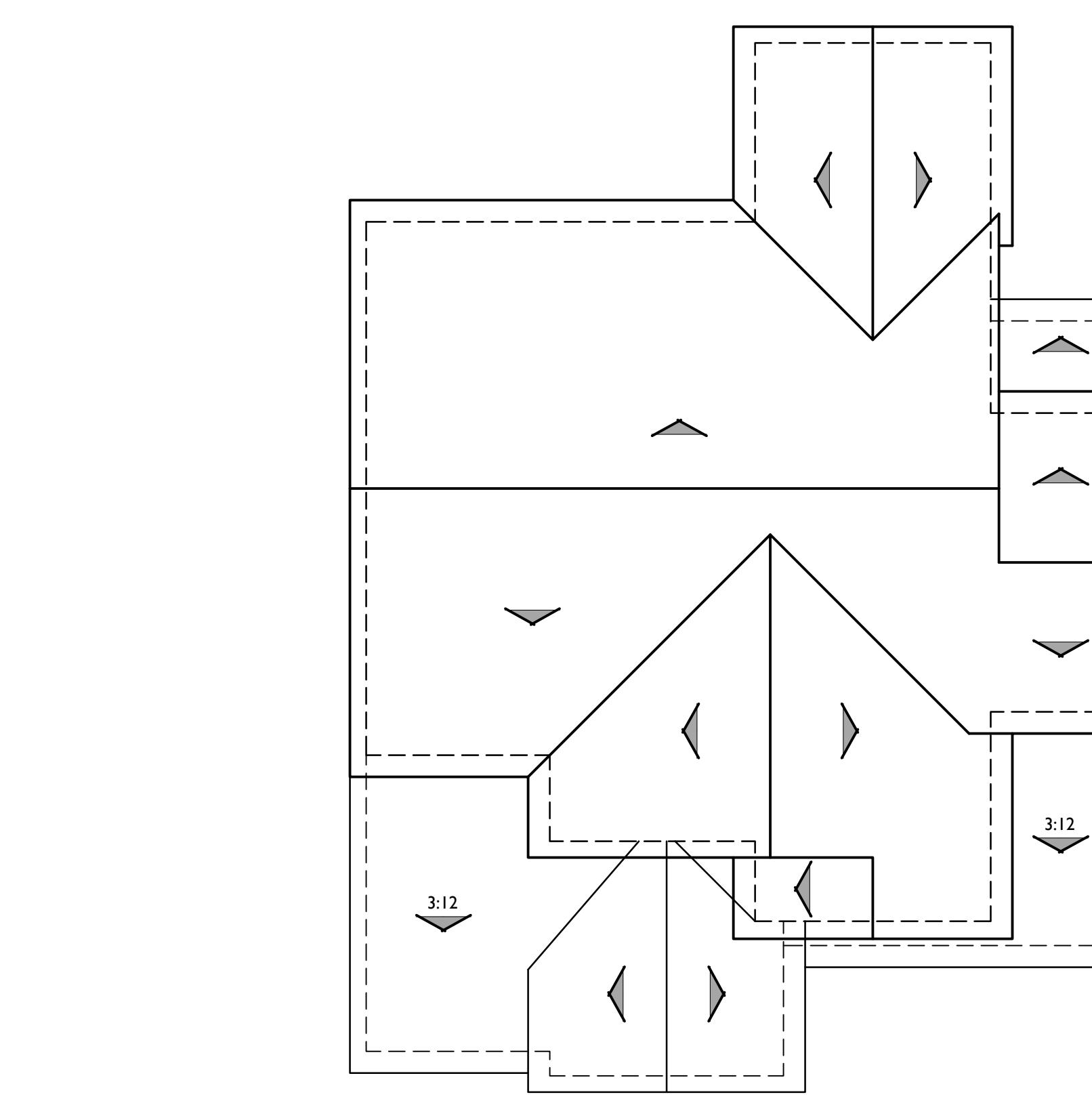
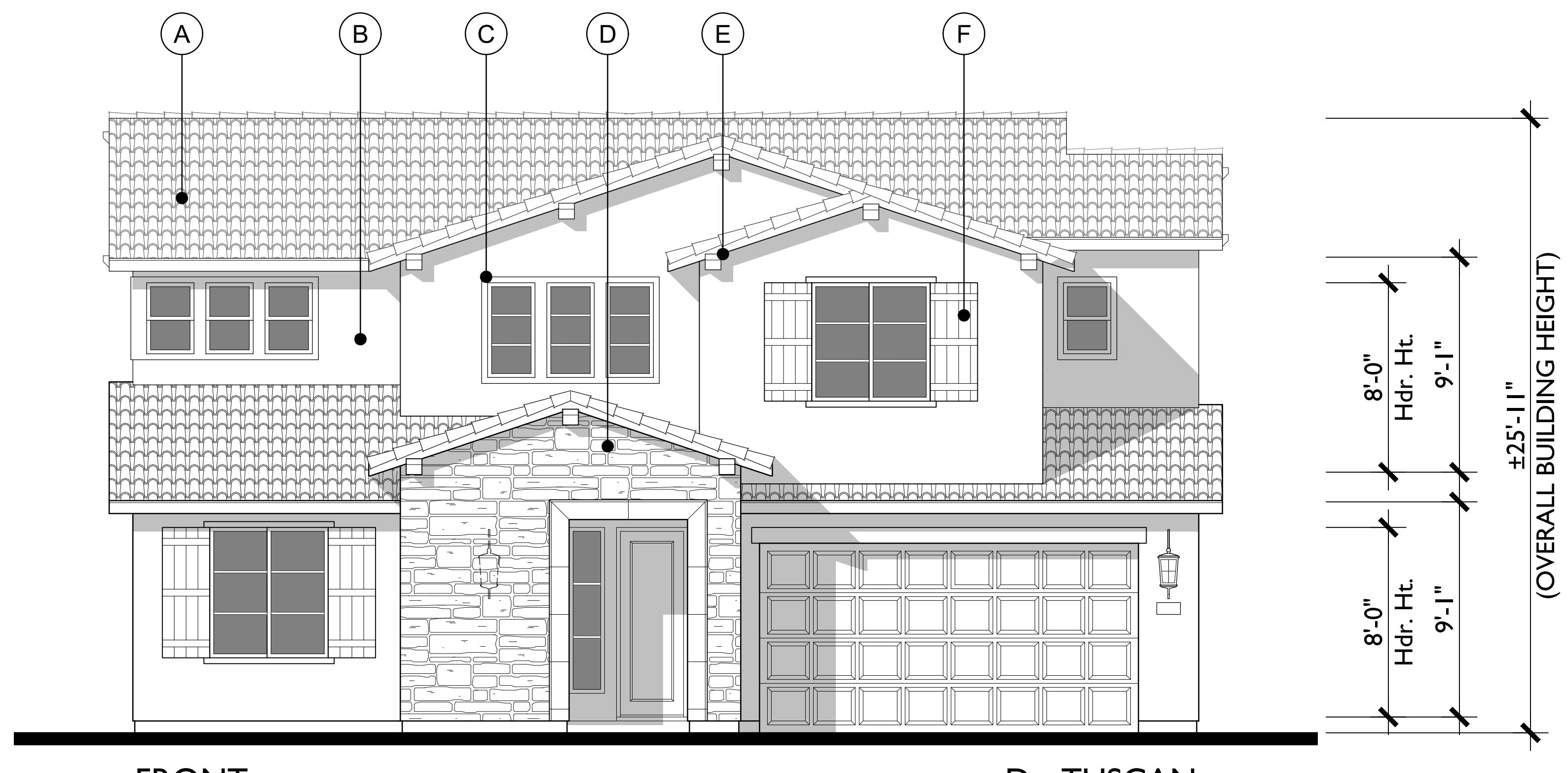
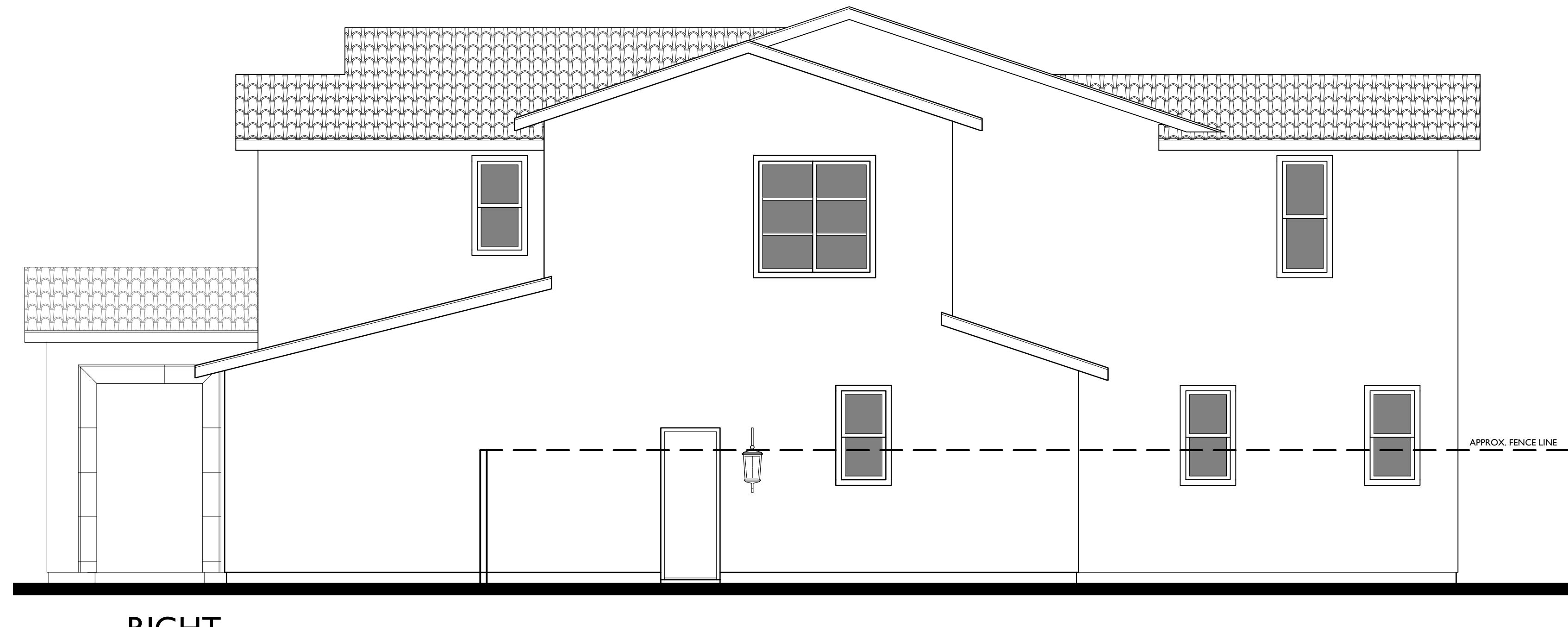
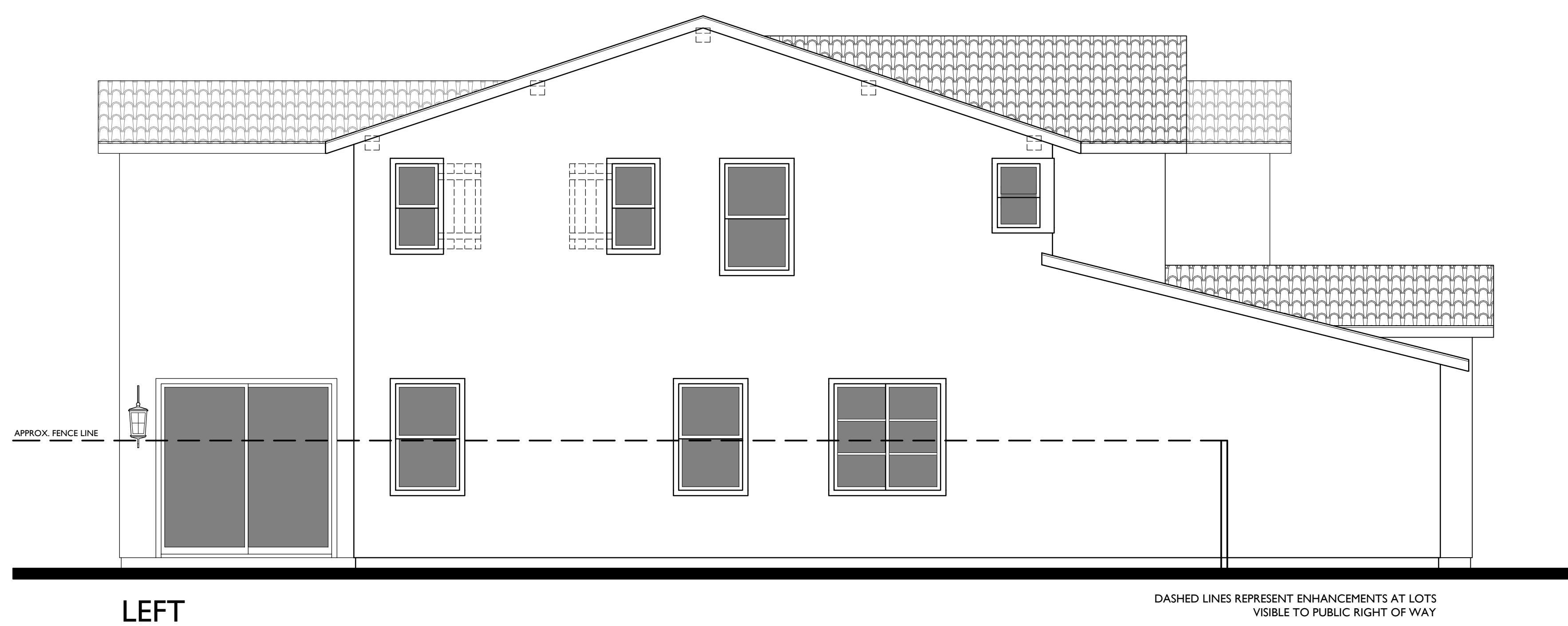
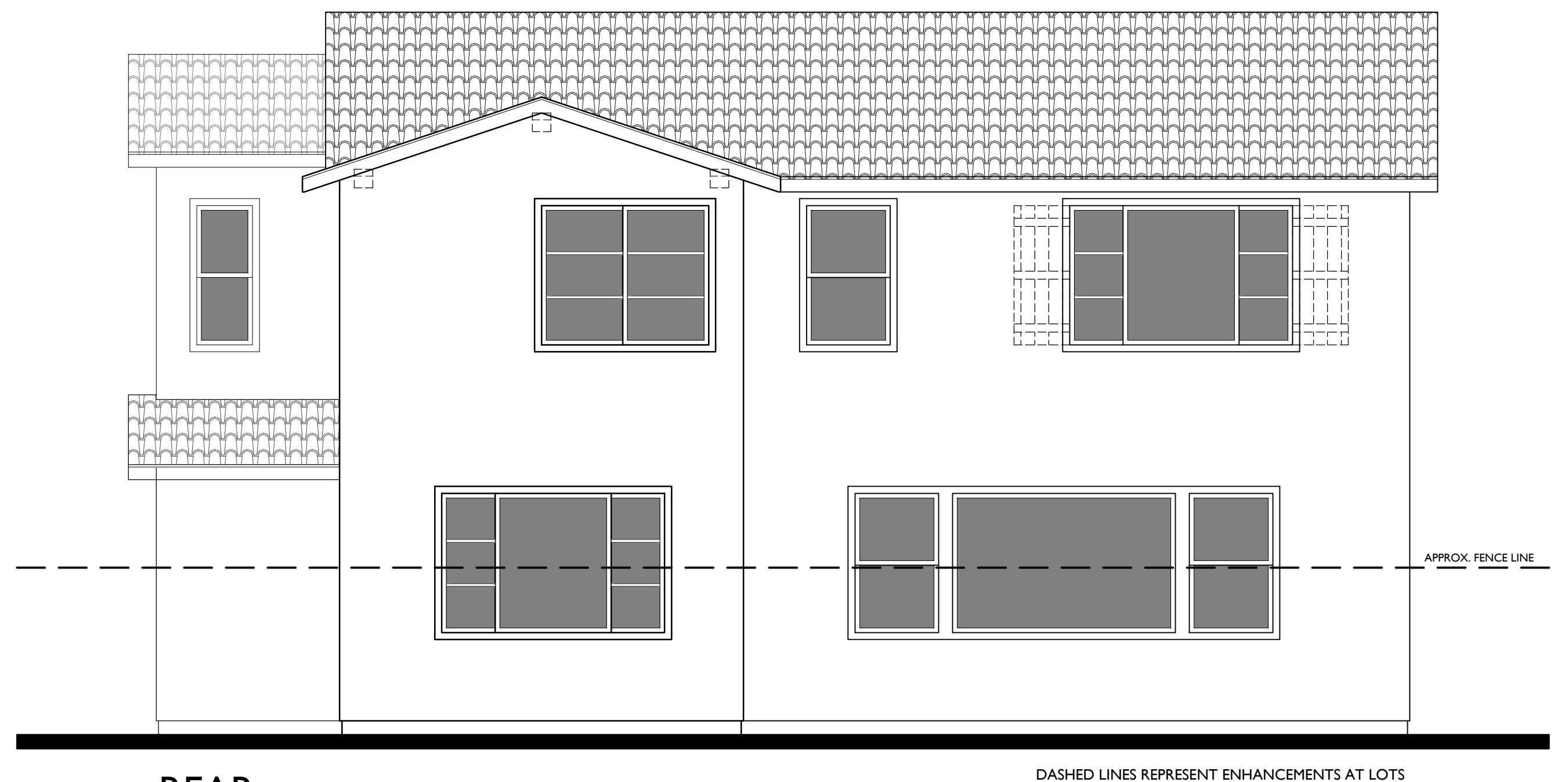
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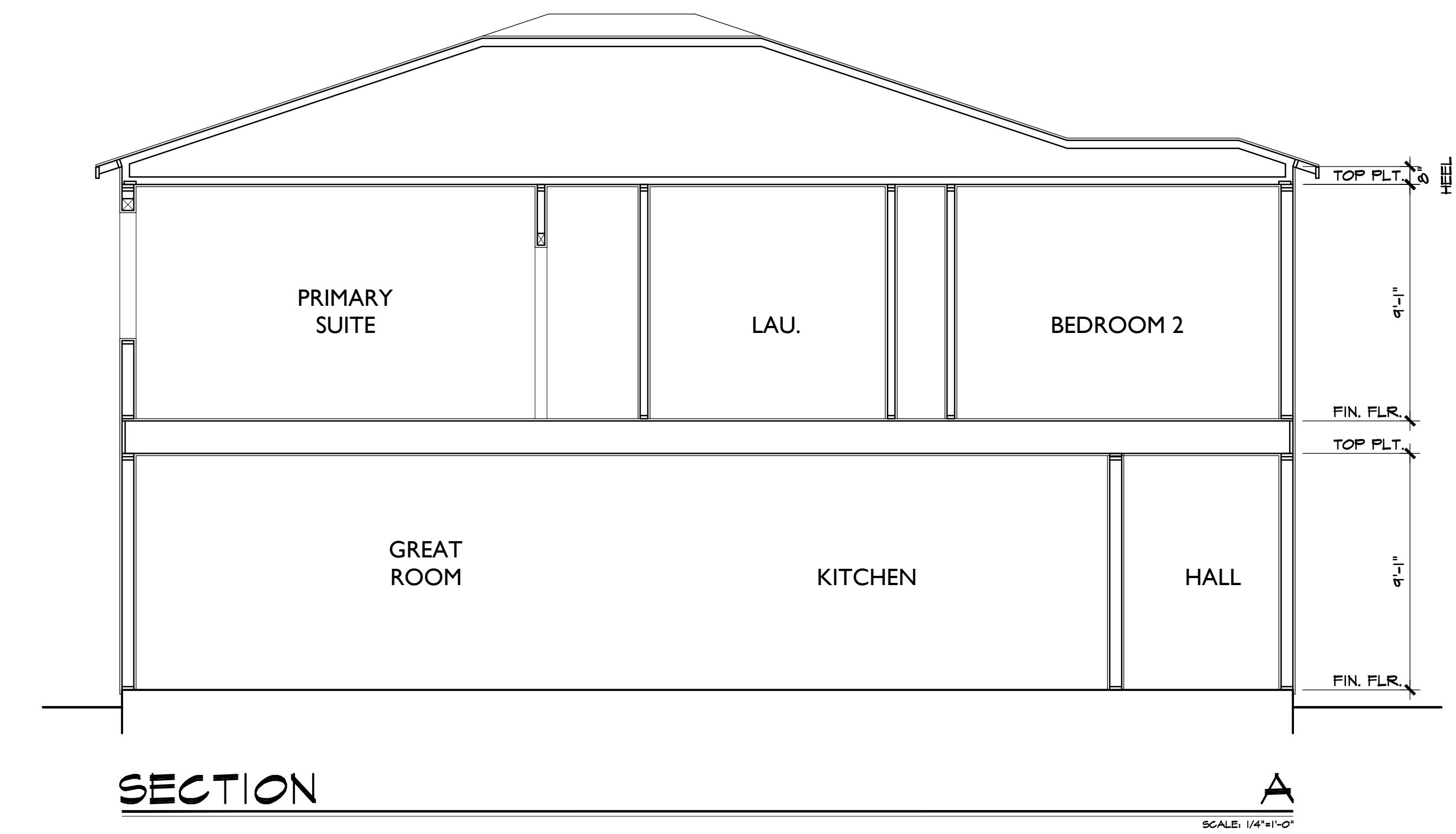
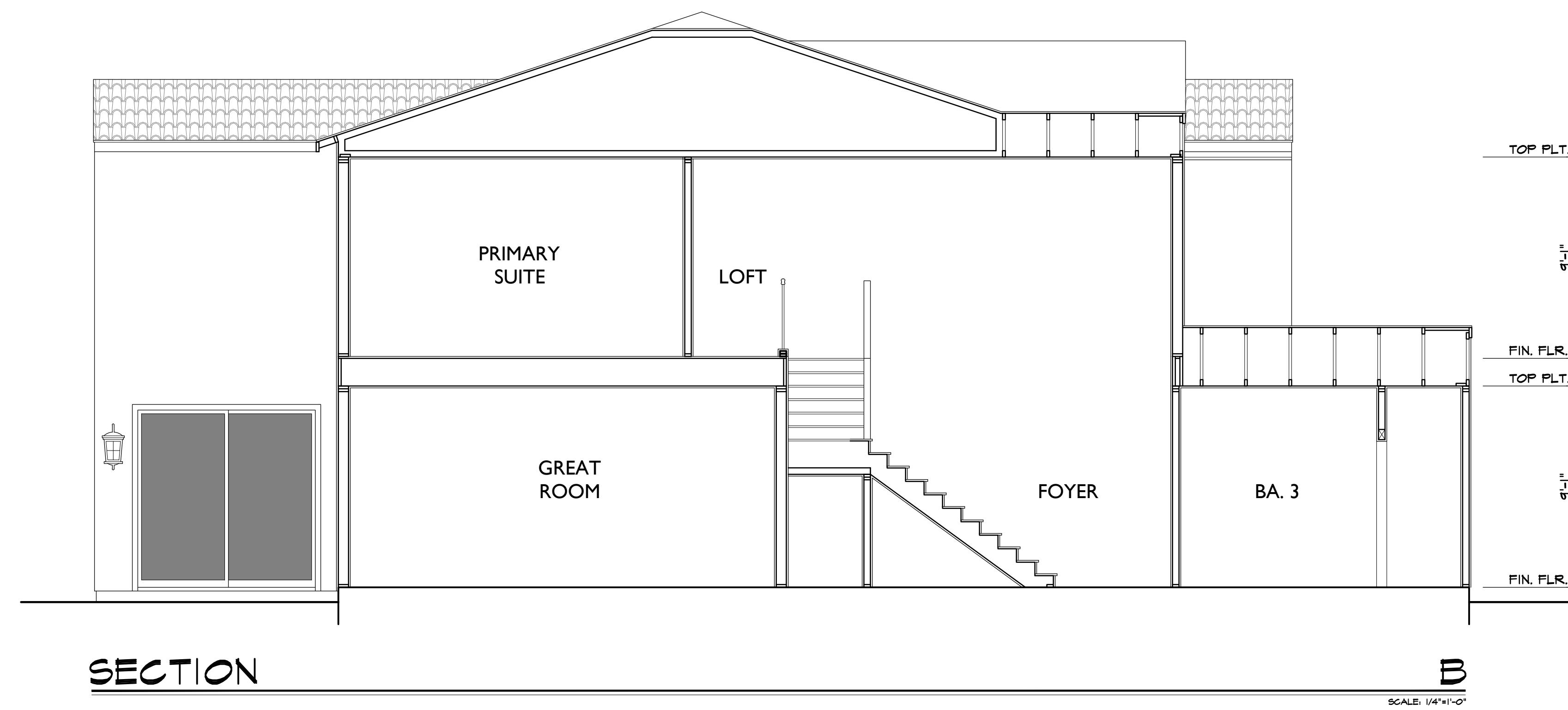
# 3,238 SQ. FT.

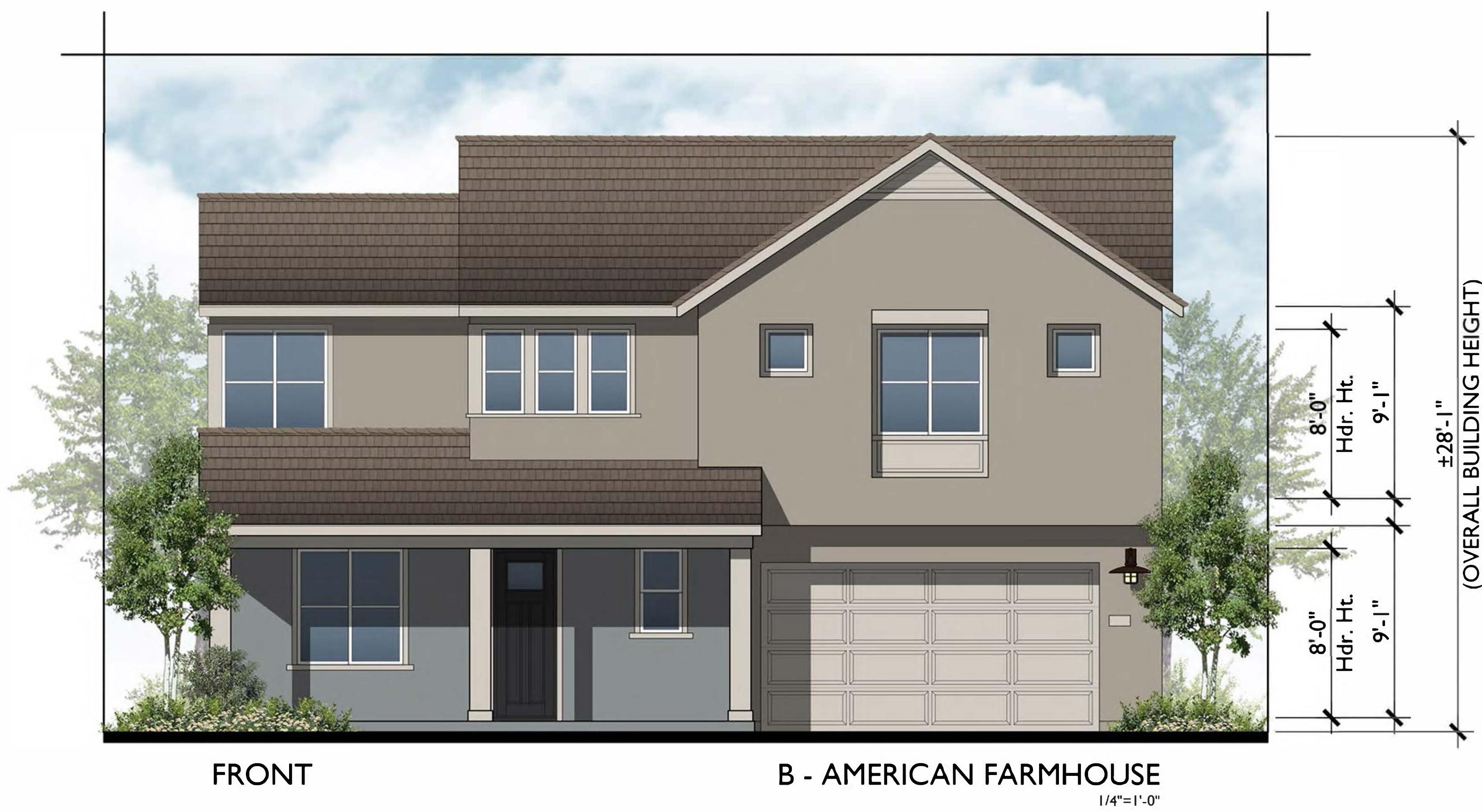
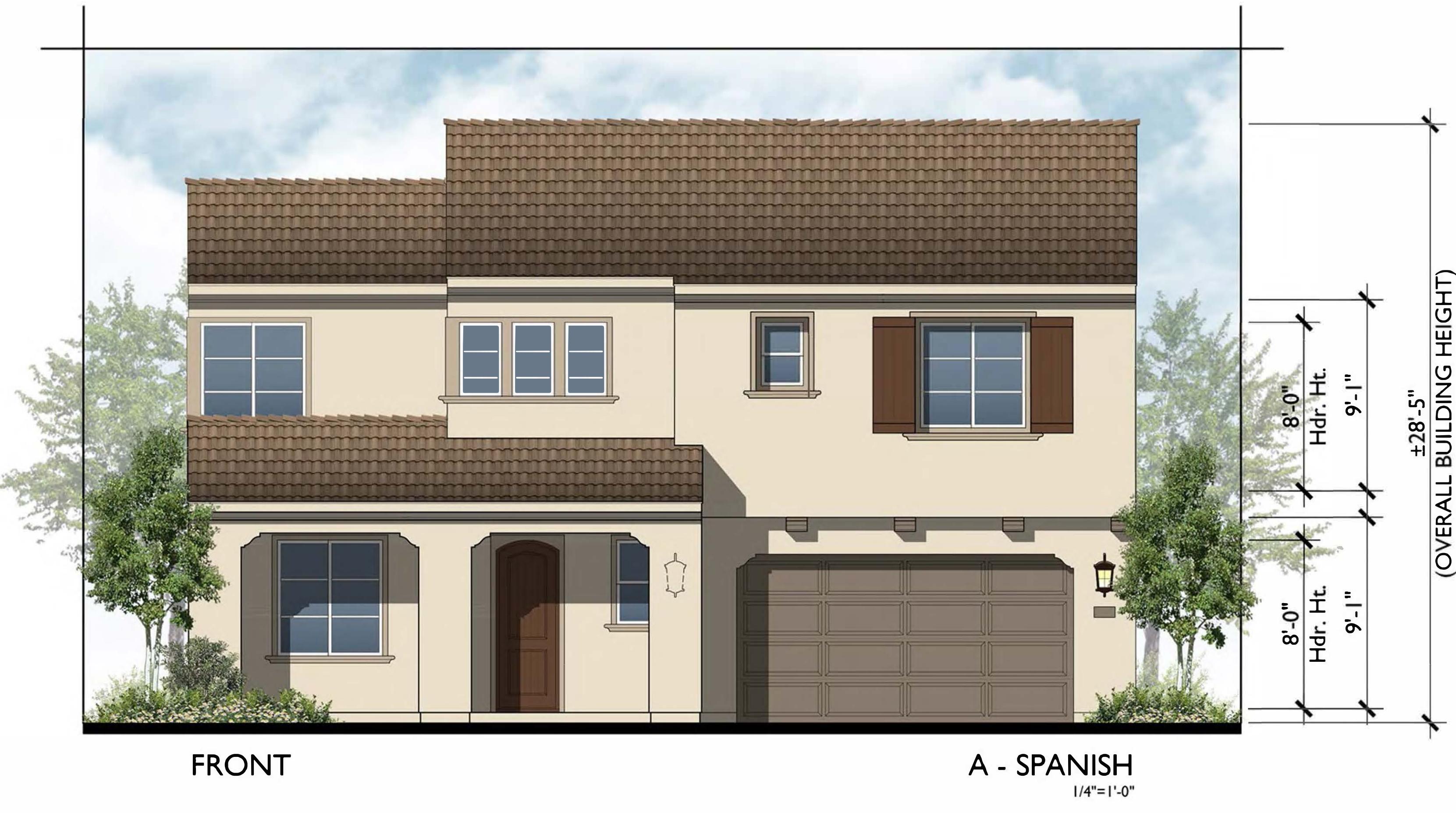
**4 BEDROOMS / 3 BATHS  
2 - CAR GARAGE**

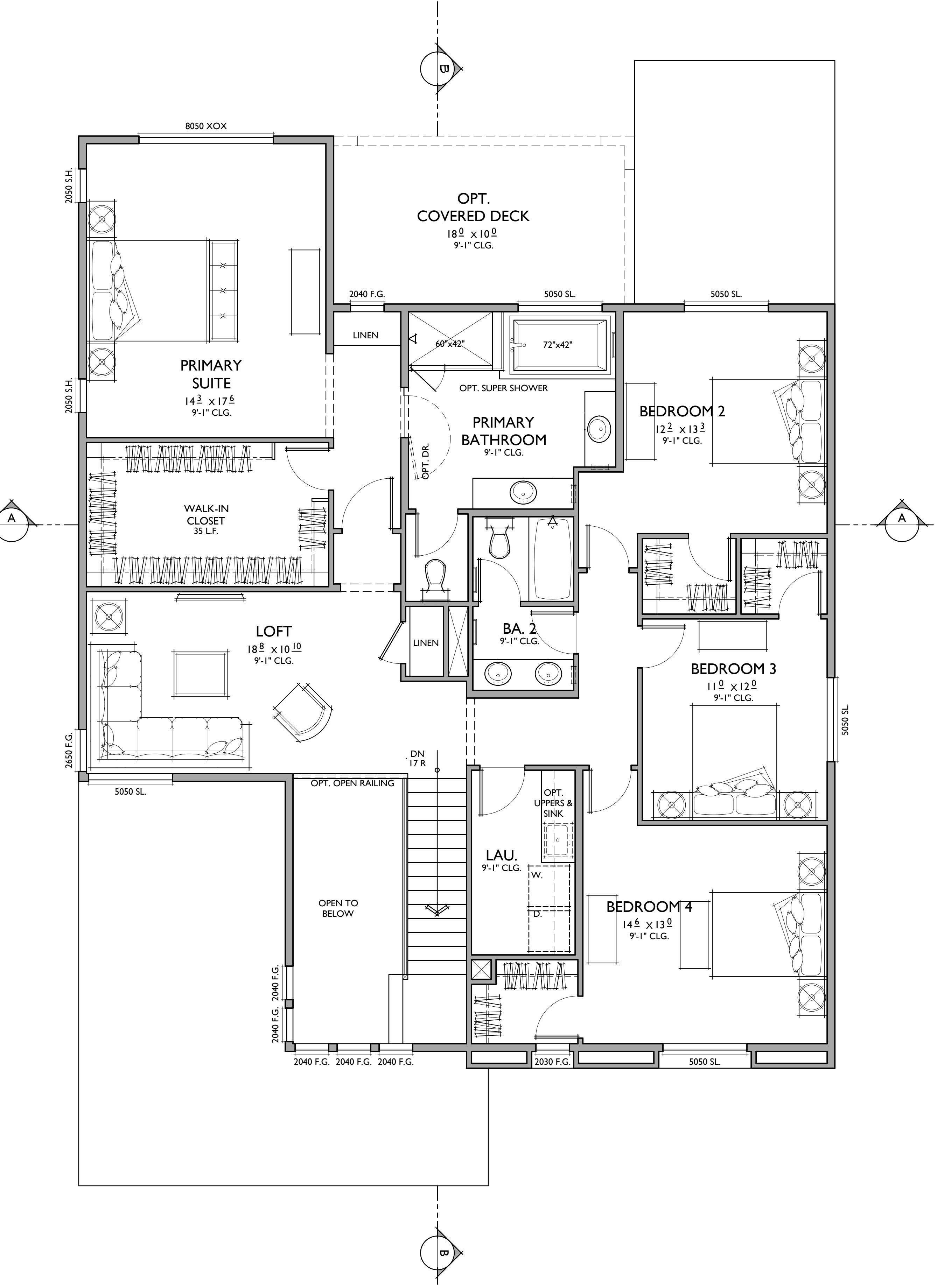
<b>FLOOR AREA TABLE</b>	
1ST FLOOR	1,687 SQ. FT.
2ND FLOOR	1,551 SQ. FT.
<b>TOTAL LIVING</b>	<b>3,238 SQ. FT.</b>
2 - CAR GARAGE	480 SQ. FT.
COVERED OUTDOOR LIVING	263 SQ. FT.
PORCH	78 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION









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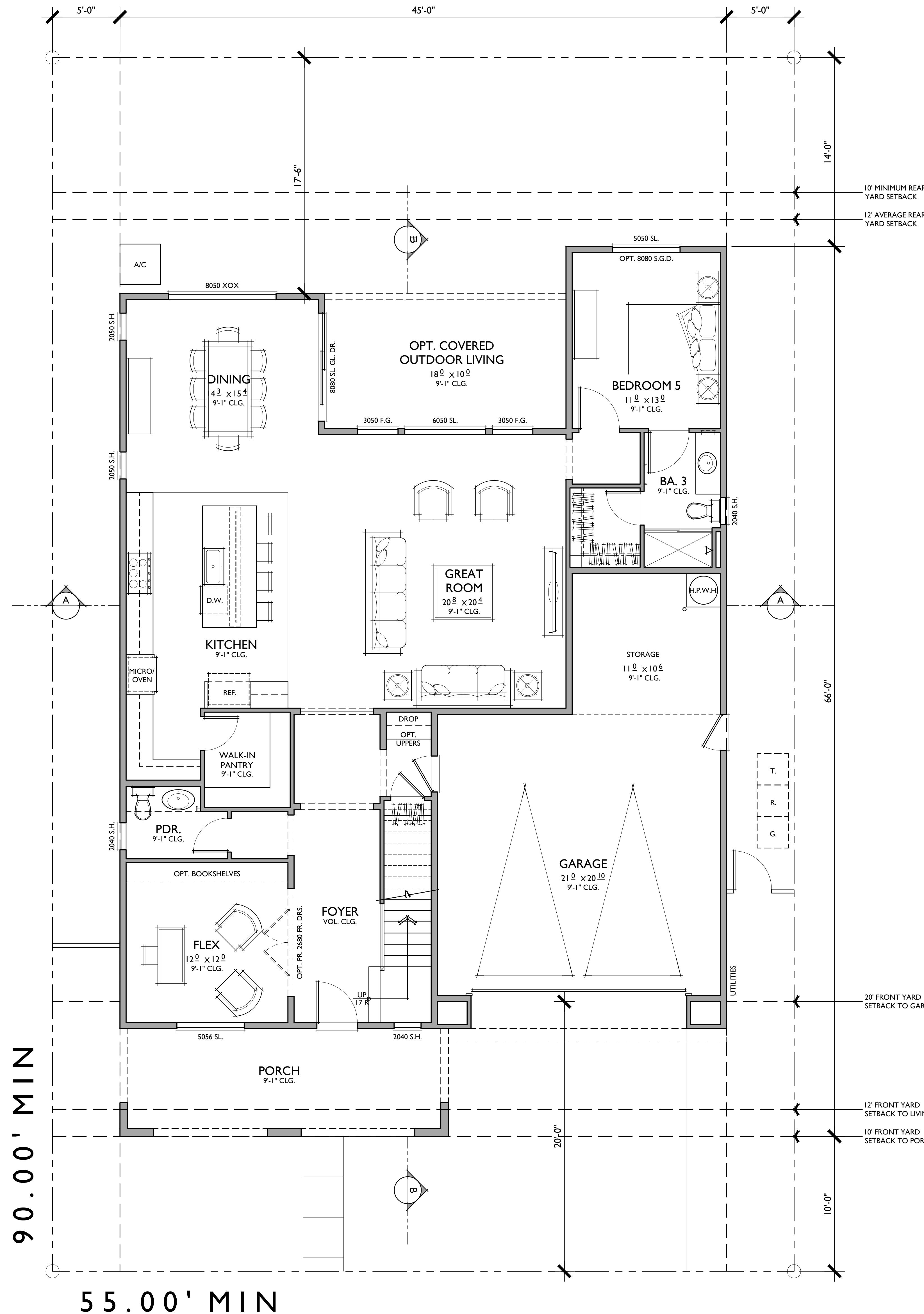
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**PLAN 2A**  
Reflects Spanish Elevation  
**TRAILS AT CREEKSIDE 55X90 SFD**

Antioch, California

667.24253



**PLAN 2A**  
**3,477 SQ. FT.**  
5 BEDROOMS / 3.5 BATHS  
2 - BAY GARAGE

**FLOOR AREA TABLE**

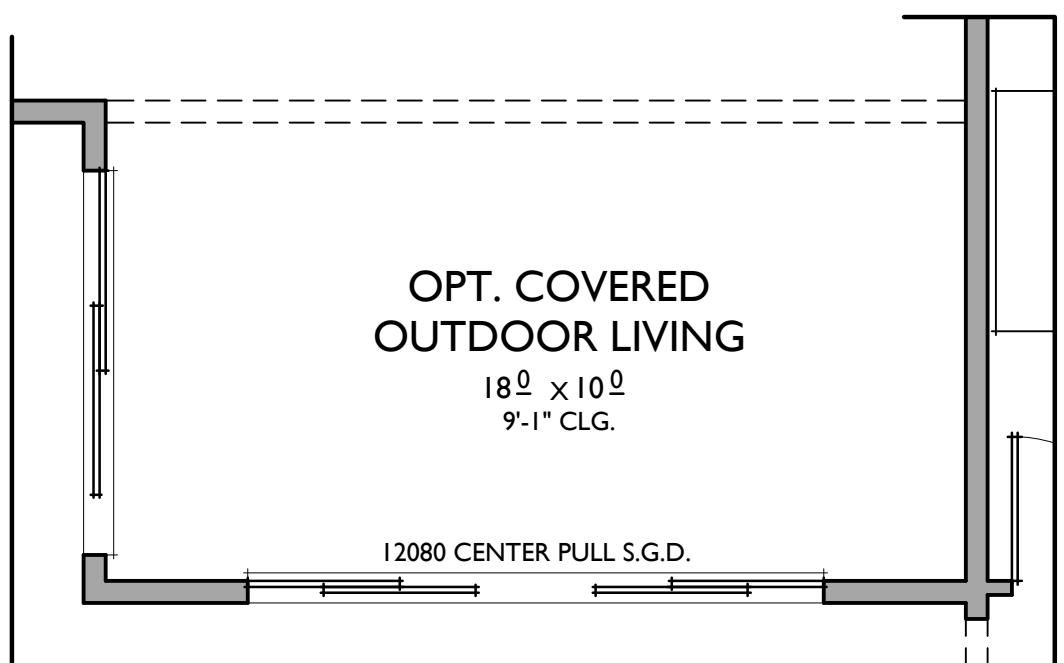
1ST FLOOR	1,696 SQ. FT.
2ND FLOOR	1,781 SQ. FT.
<b>TOTAL LIVING</b>	<b>3,477 SQ. FT.</b>
2 - BAY GARAGE	577 SQ. FT.
COVERED OUTDOOR LIVING	179 SQ. FT.
PORCH	195 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

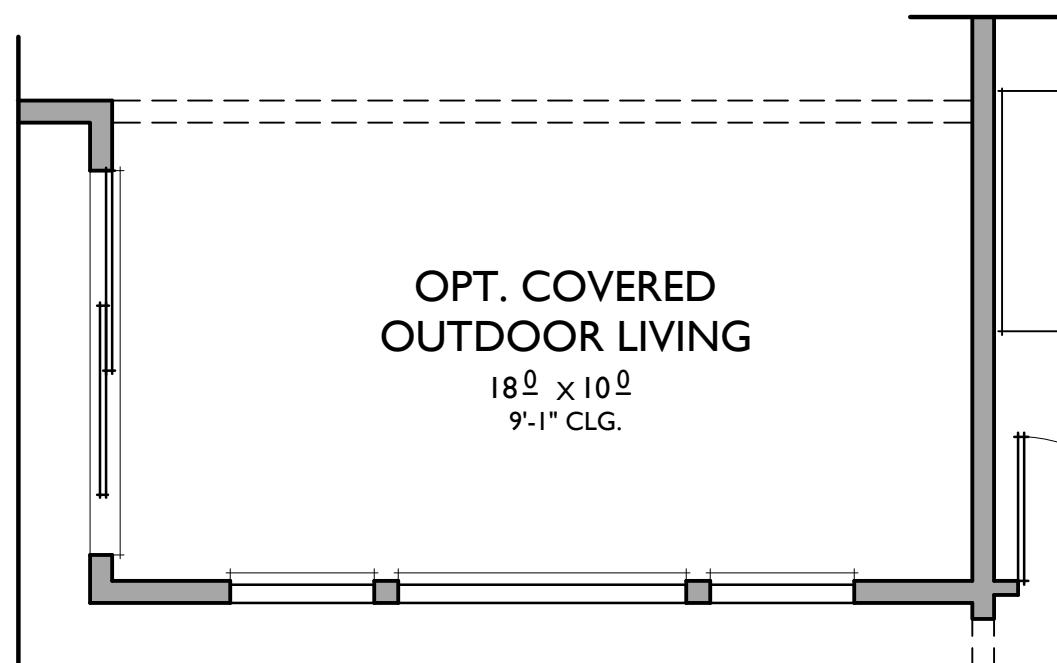
12.06.24

**SHEET**  
**A2.02**

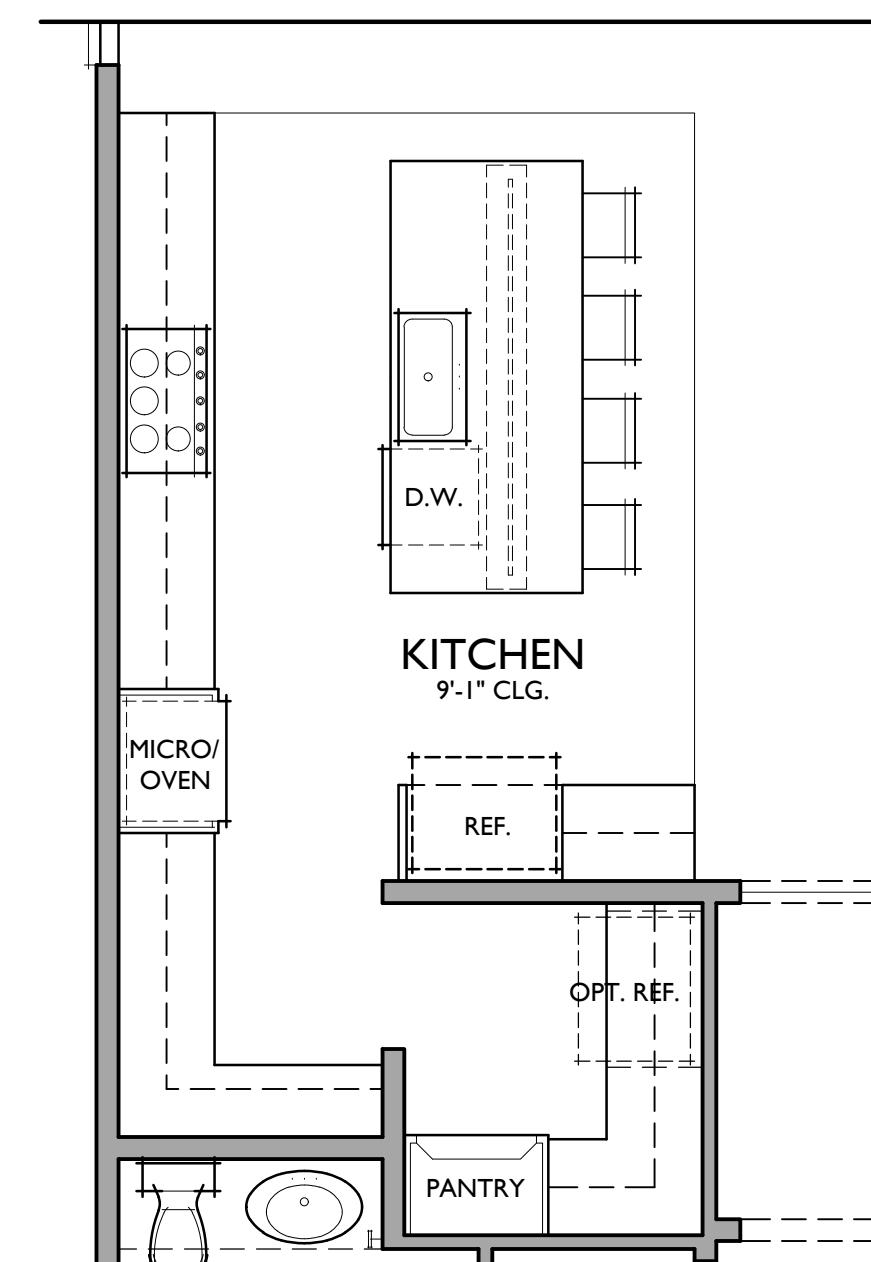
**tri pointe**  
HOMES B61



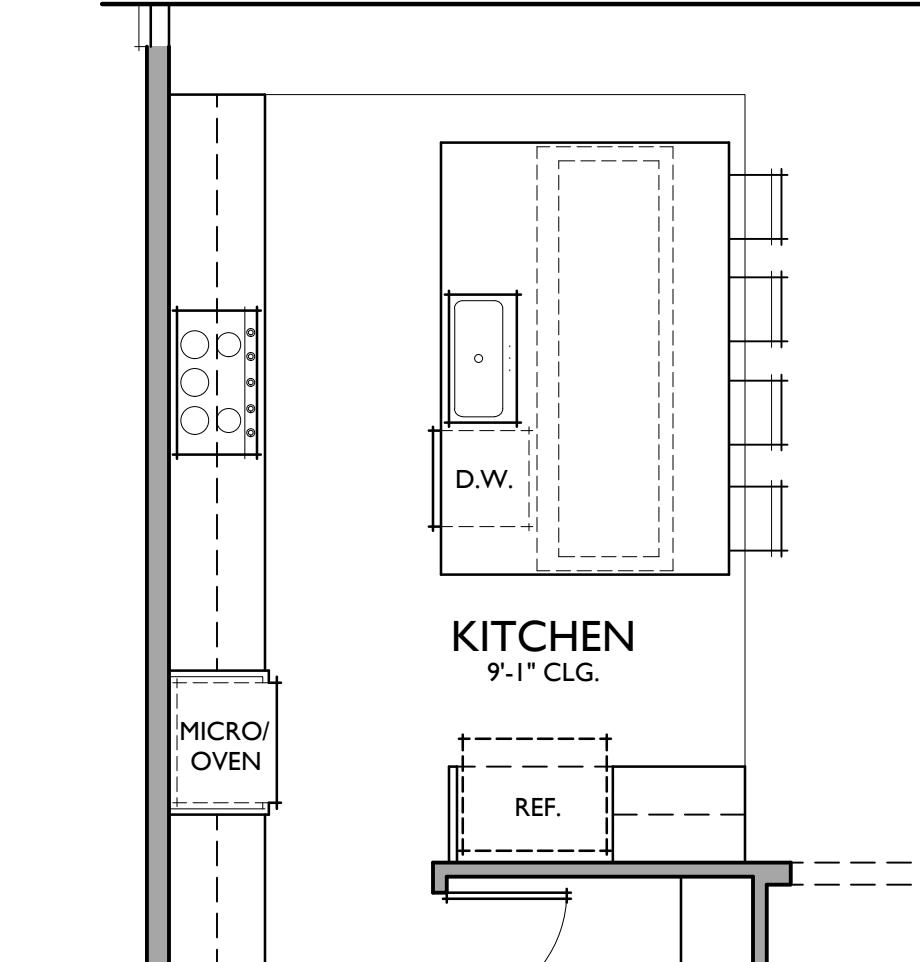
OPT. 12080 CENTER PULL S.G.D.



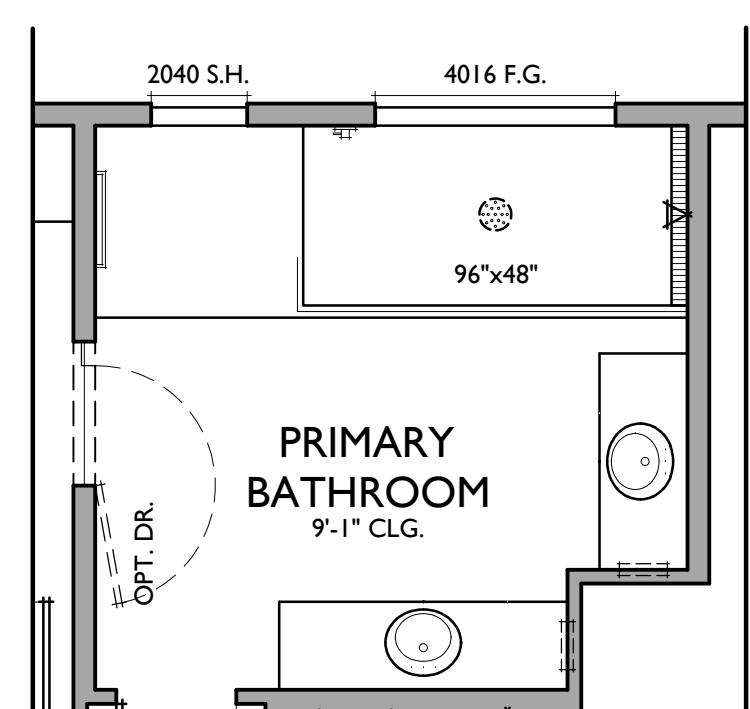
OPT. COVERED OUTDOOR LIVING



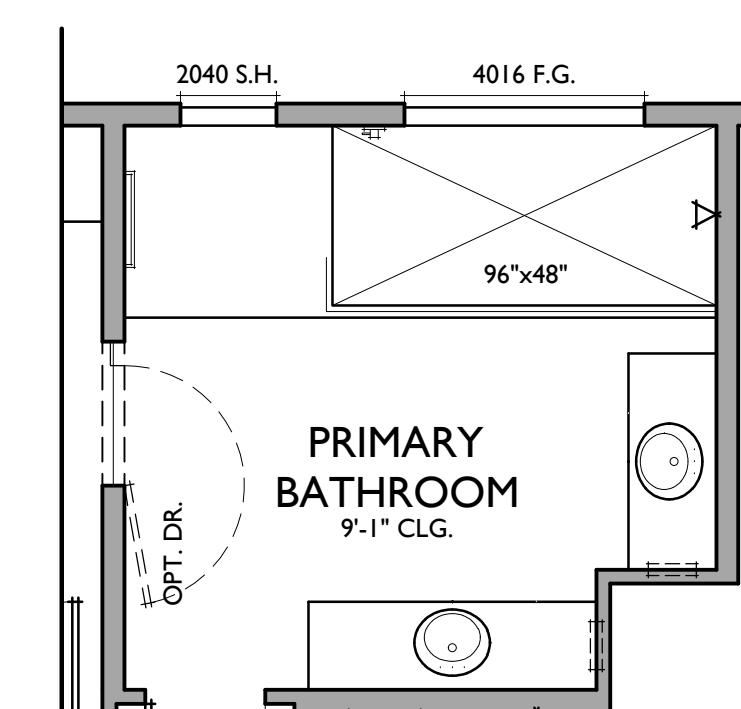
OPT. BUILT-IN PANTRY



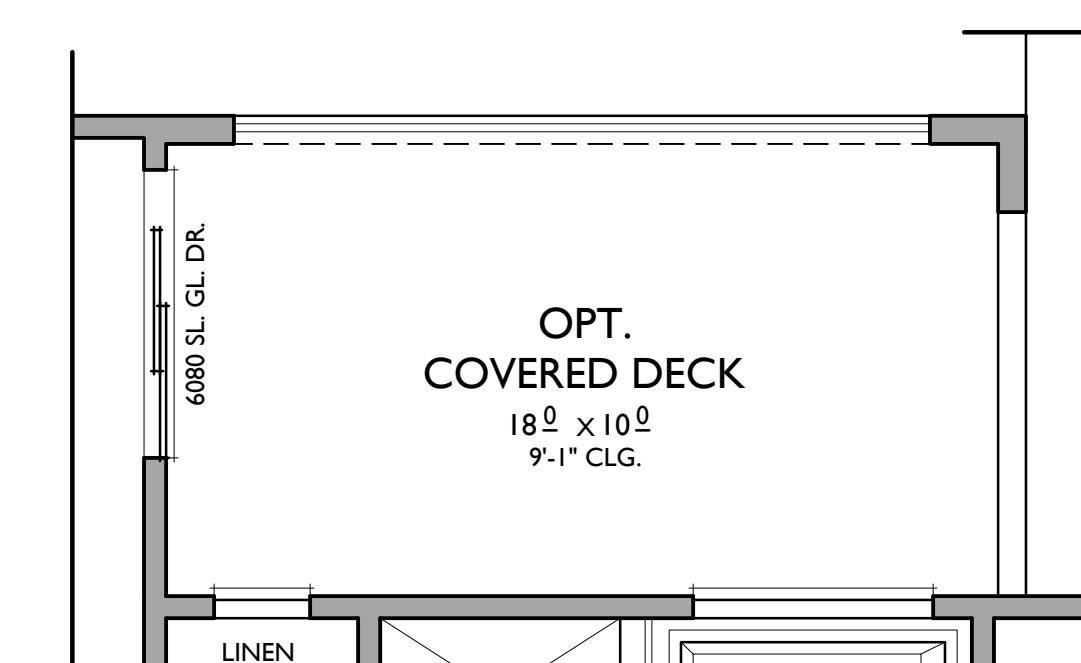
OPT. EXTENDED ISLAND



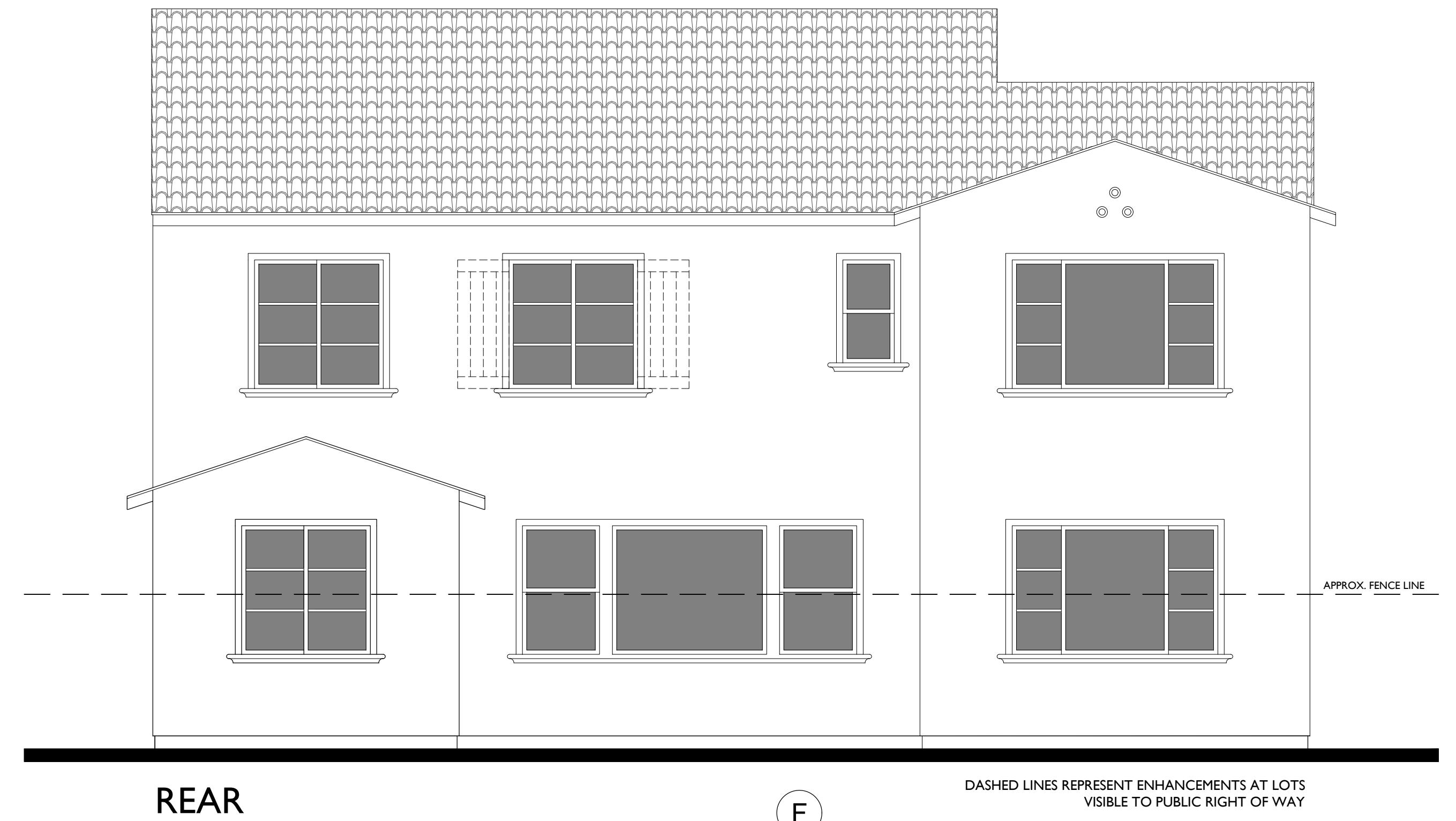
OPTIONAL SPA SHOWER  
IN LIEU OF TUB



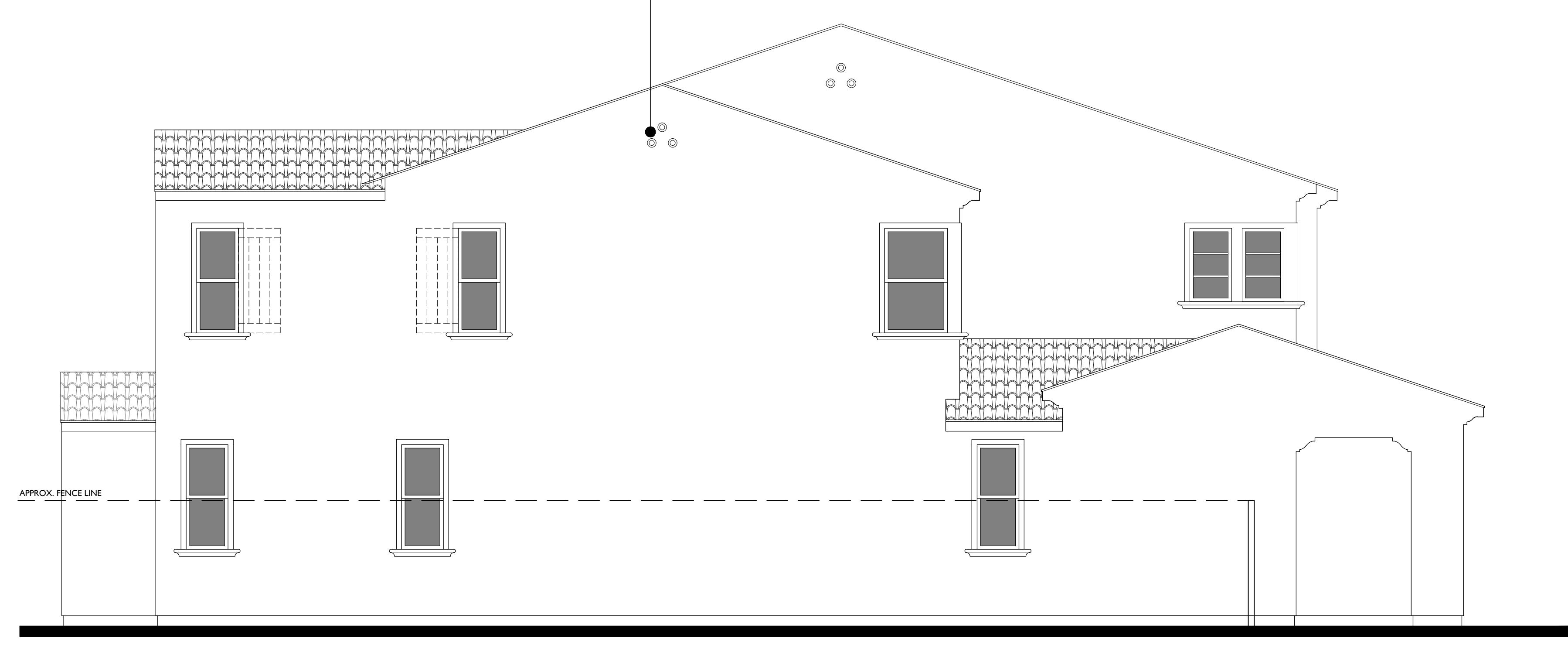
OPTIONAL SUPER SHOWER  
IN LIEU OF TUB



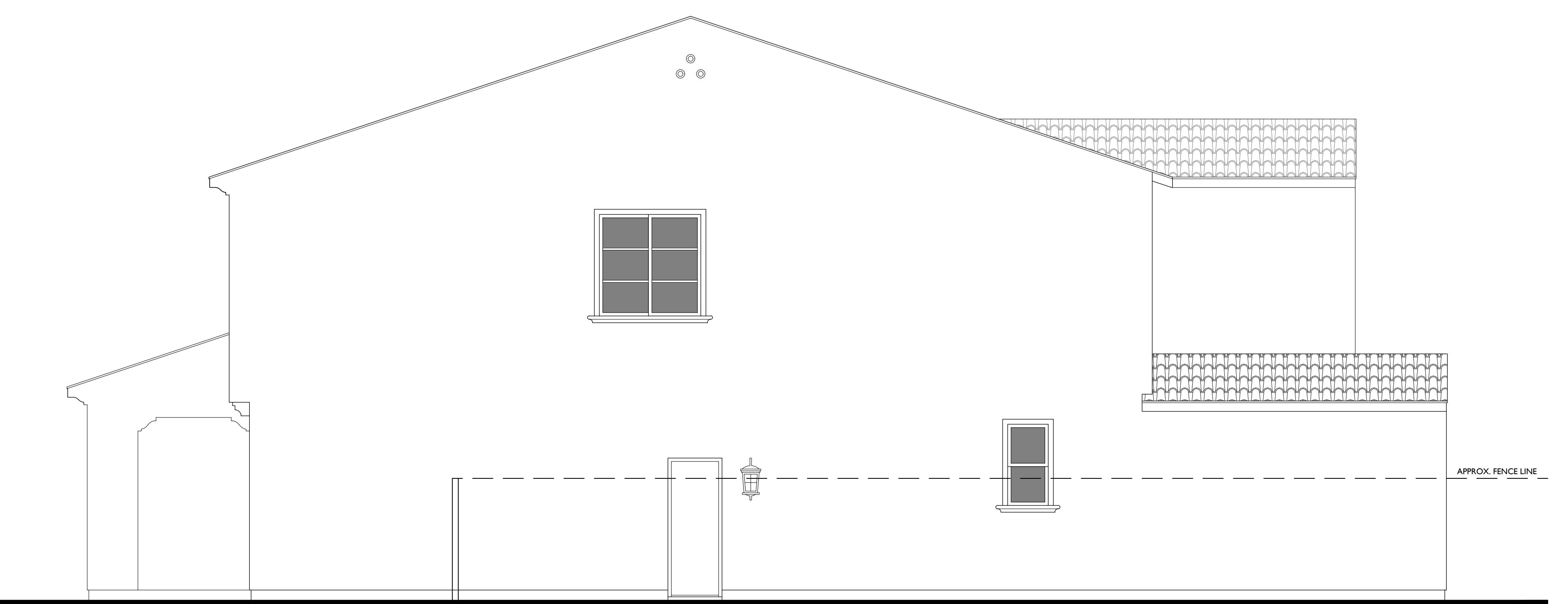
OPTIONAL COVERED DECK  
AT PRIMARY SUITE



REAR

DASHED LINES REPRESENT ENHANCEMENTS AT LOTS  
VISIBLE TO PUBLIC RIGHT OF WAY

LEFT

DASHED LINES REPRESENT ENHANCEMENTS AT LOTS  
VISIBLE TO PUBLIC RIGHT OF WAY

RIGHT

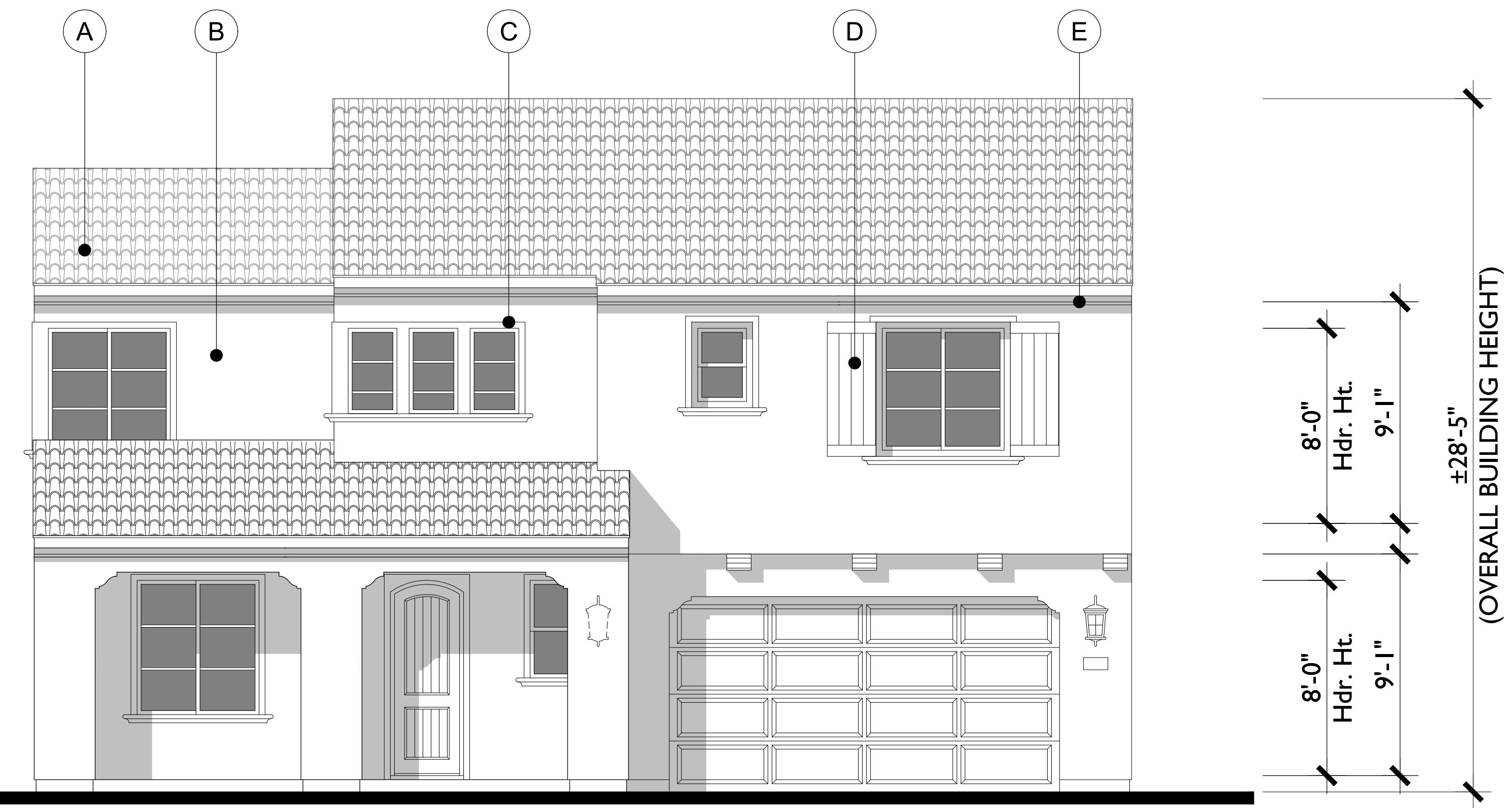
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## PLAN 2A

Spanish Elevation  
TRAILS AT CREEKSIDE 55X90 SFD

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tel +1 949 553 8100  
fax +1 949 553 0548

Antioch, California  
0 2 4 8  
667.24253



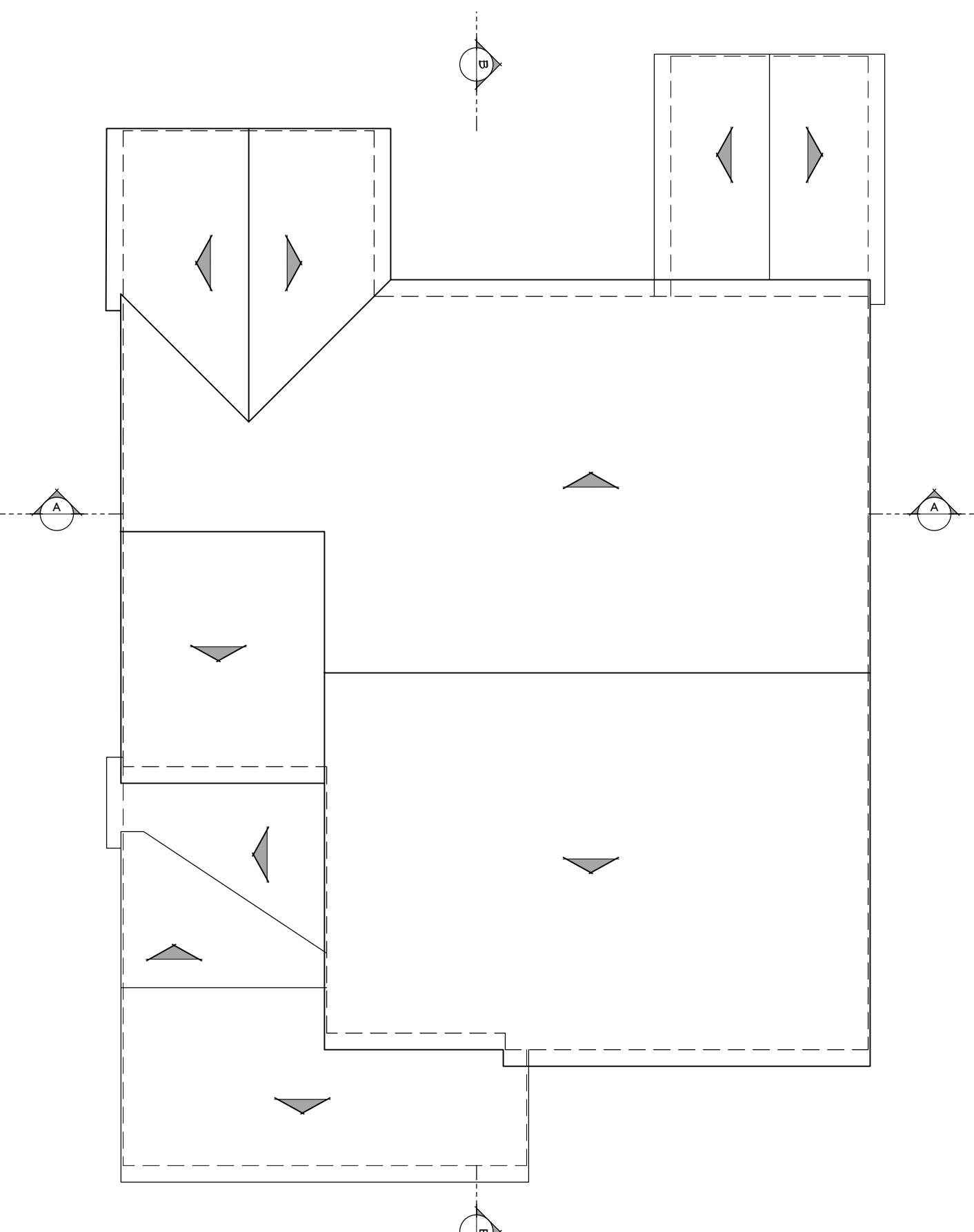
FRONT

A - SPANISH

1/4"=1'-0"

## MATERIAL LEGEND

- A. CONCRETE 'S' TILE
- B. SAND FINISH STUCCO
- C. STUCCO OVER FOAM TRIM
- D. DECORATIVE SHUTTERS
- E. BUILT UP SHAPED FOAM EAVE
- F. DECORATIVE CLAY PIPES

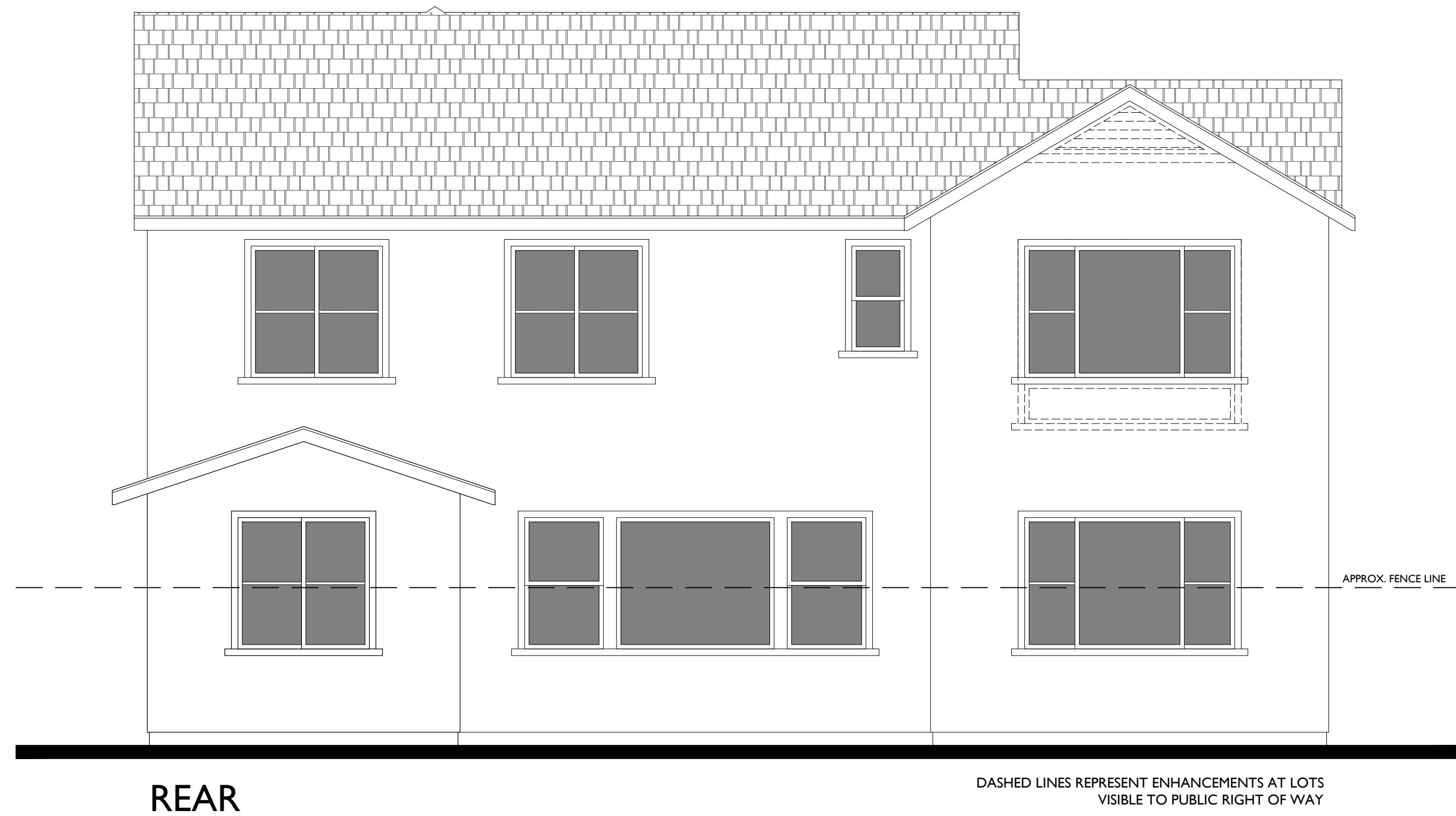


ROOF PLAN

PITCH: 4/12 U.N.O.  
RAKES: TIGHT  
EAVE: 12'  
ROOF MATERIAL: CONCRETE 'S' TILE

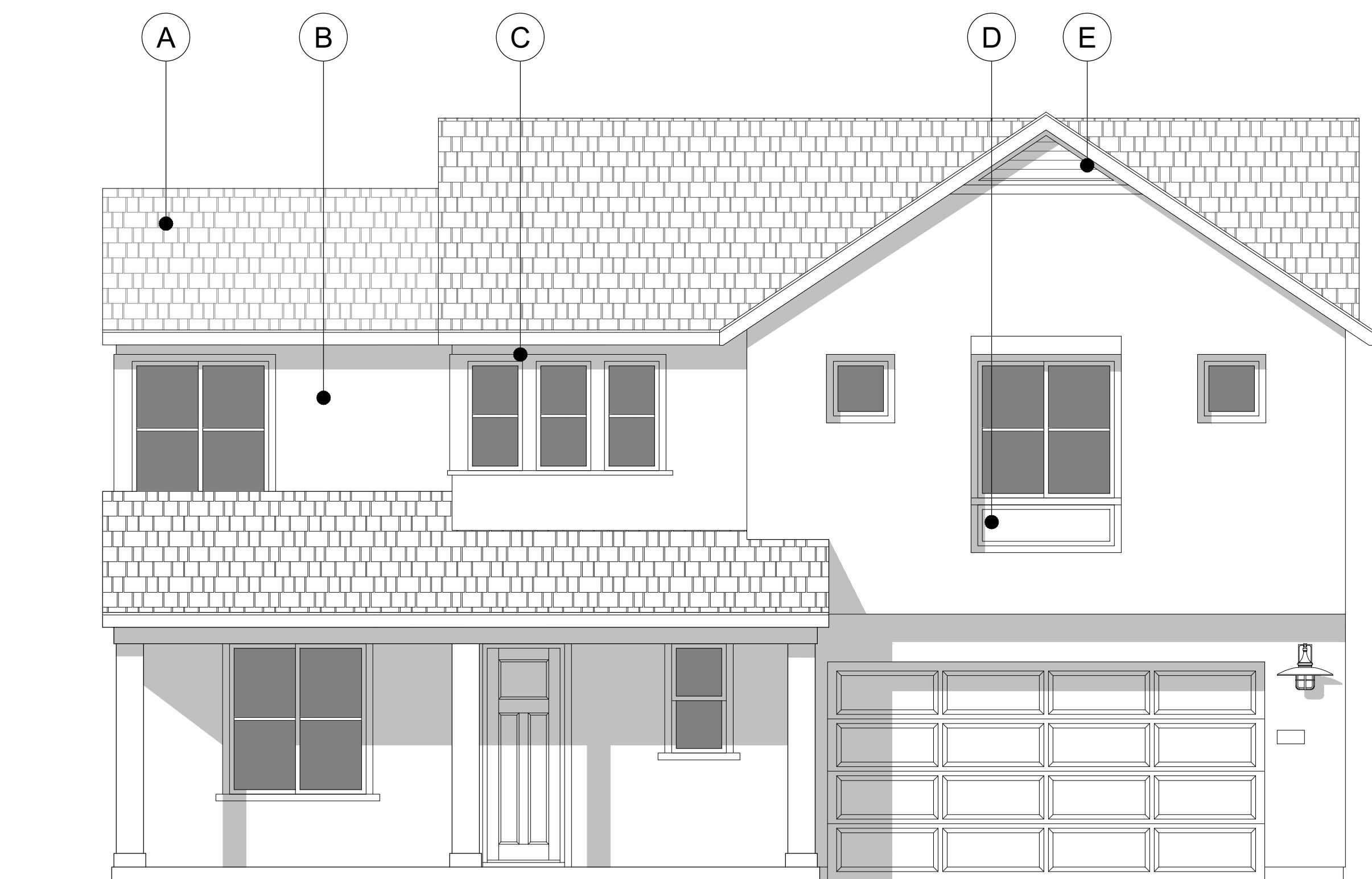
(OVERALL BUILDING HEIGHT)





REAR

DASHED LINES REPRESENT ENHANCEMENTS AT LOTS  
VISIBLE TO PUBLIC RIGHT OF WAY

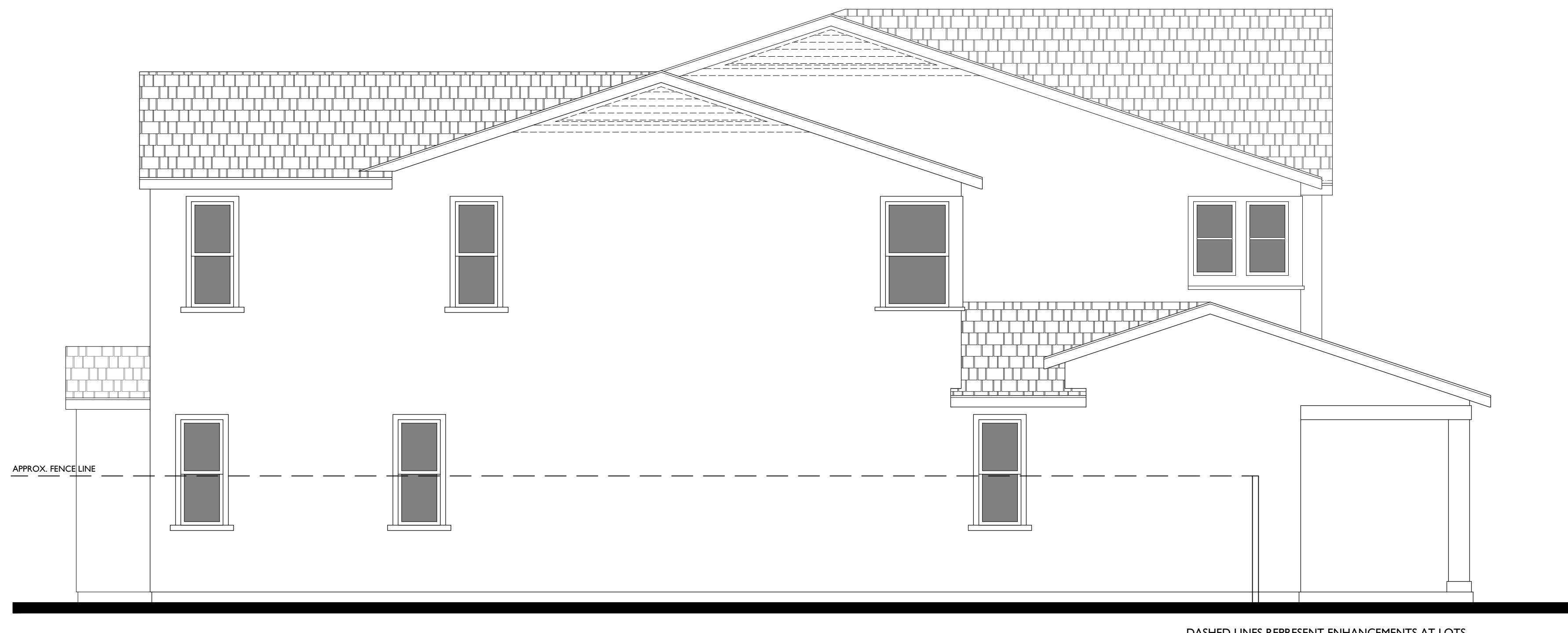


FRONT

B - AMERICAN FARMHOUSE

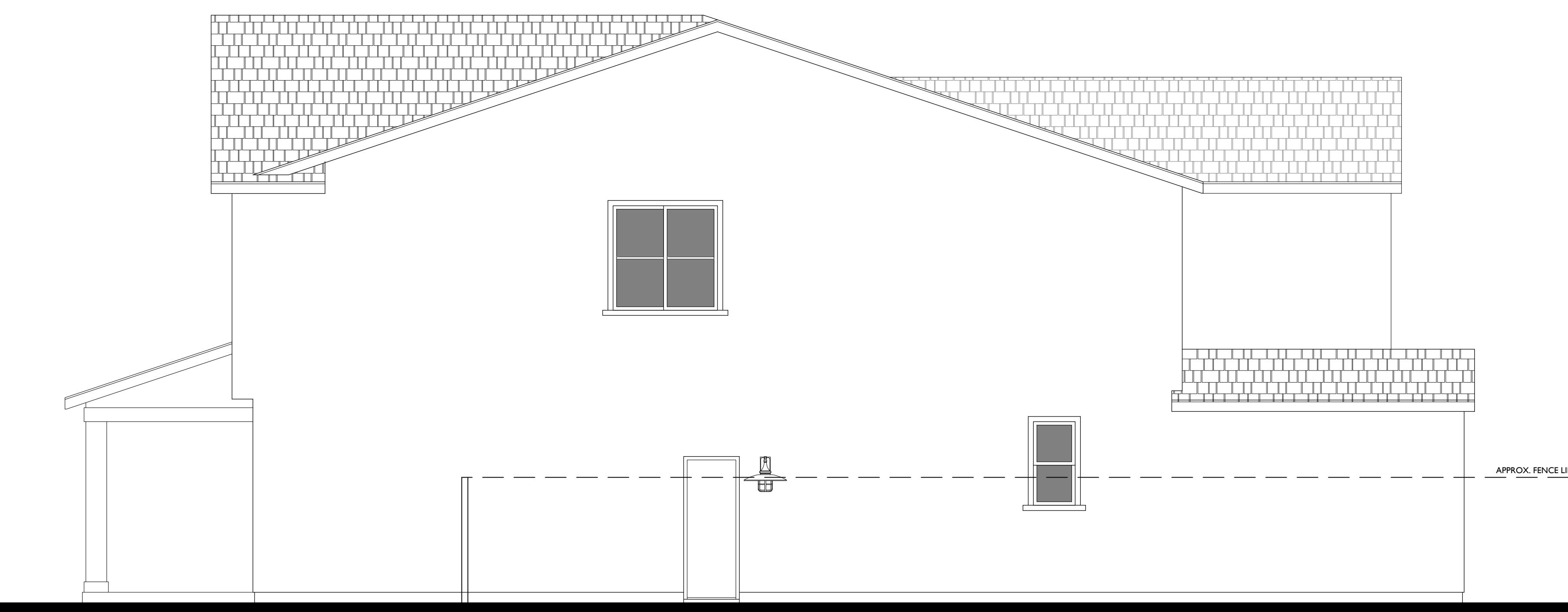
1/4"=1'-0"

(OVERALL BUILDING HEIGHT)

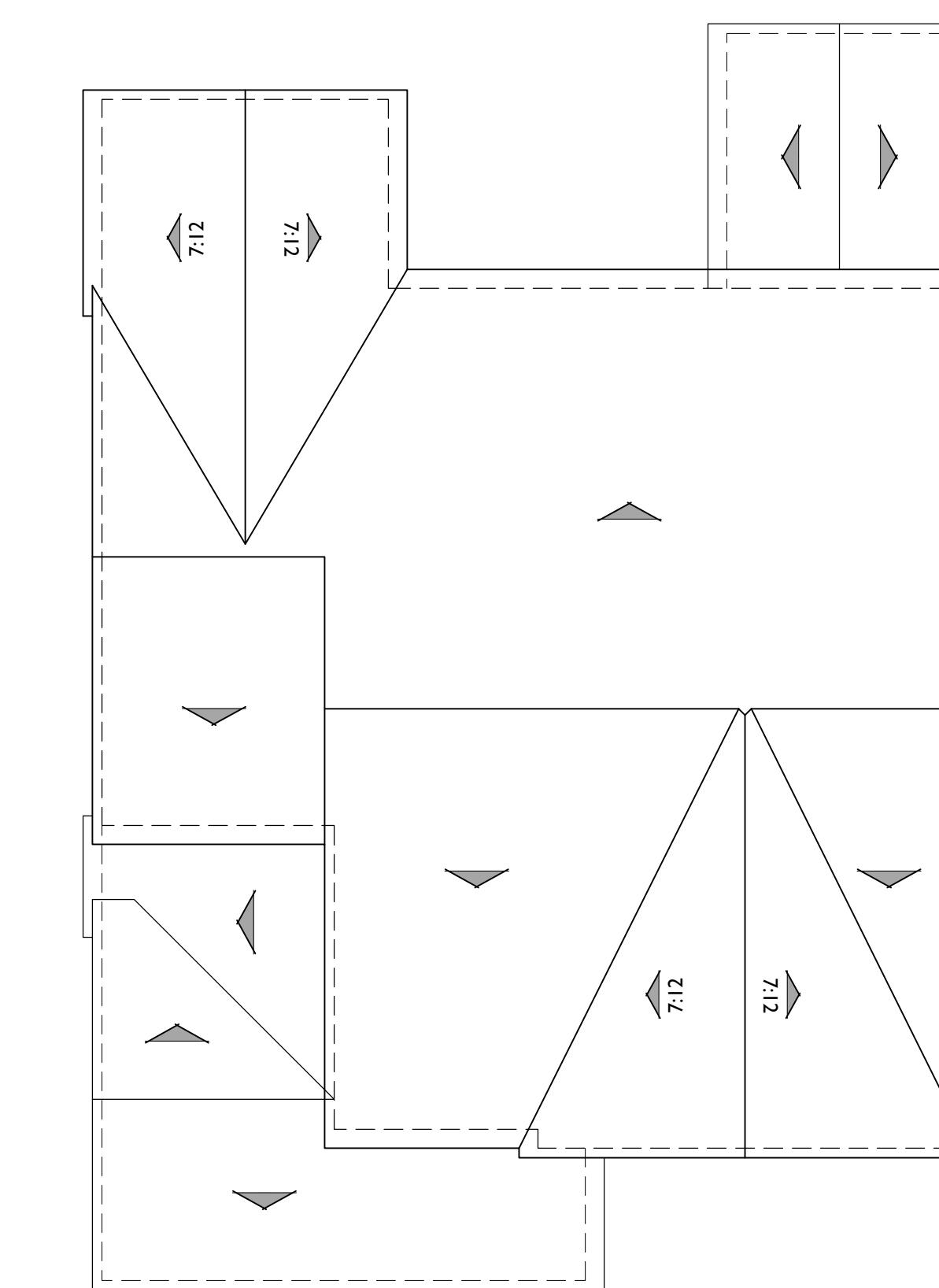


LEFT

DASHED LINES REPRESENT ENHANCEMENTS AT LOTS  
VISIBLE TO PUBLIC RIGHT OF WAY

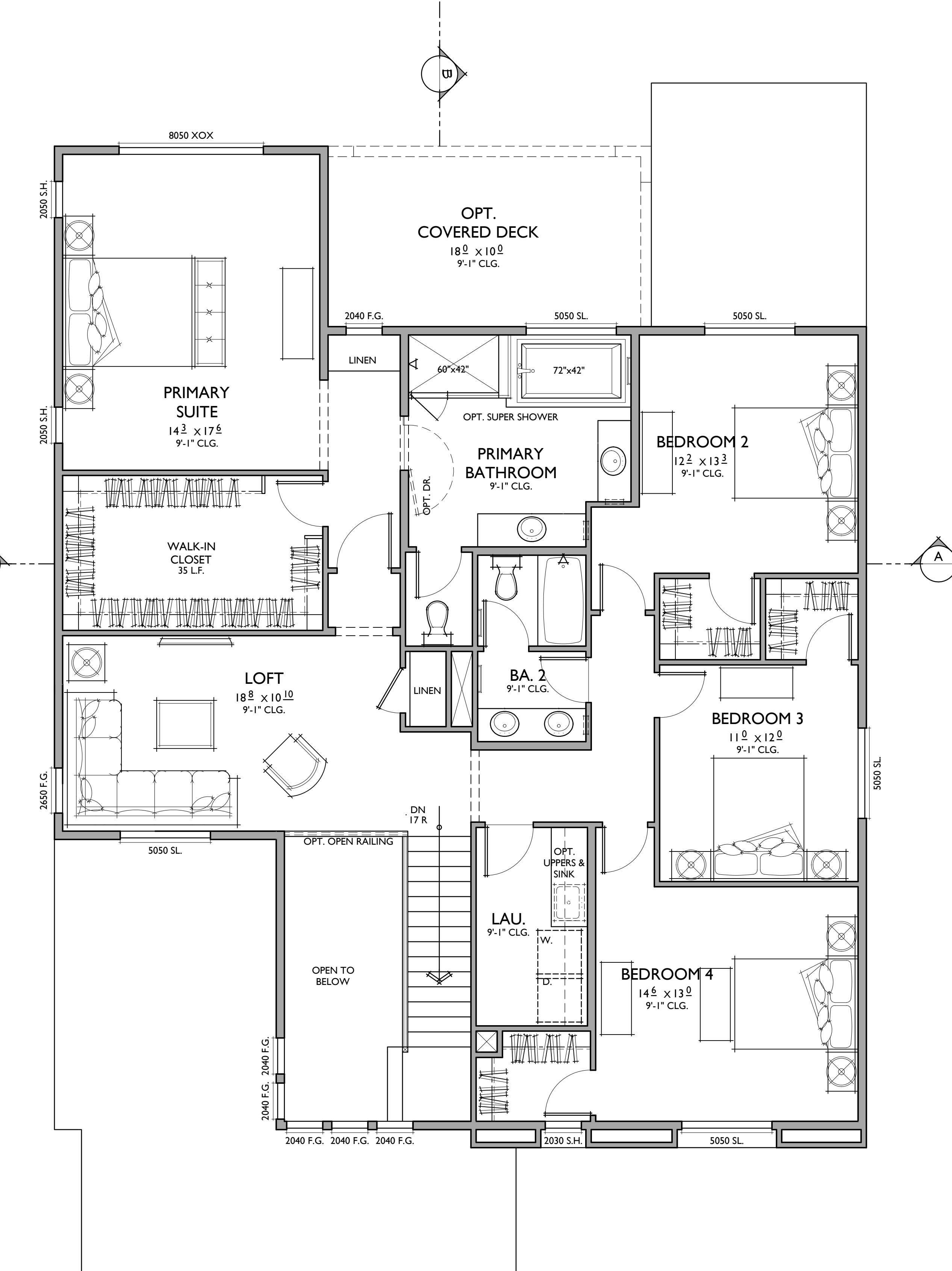


RIGHT



ROOF PLAN

PITCH: 4:12 U.N.O.  
RAKE: 12°  
EAVE: 16'  
ROOF MATERIAL: FLAT CONCRETE TILE



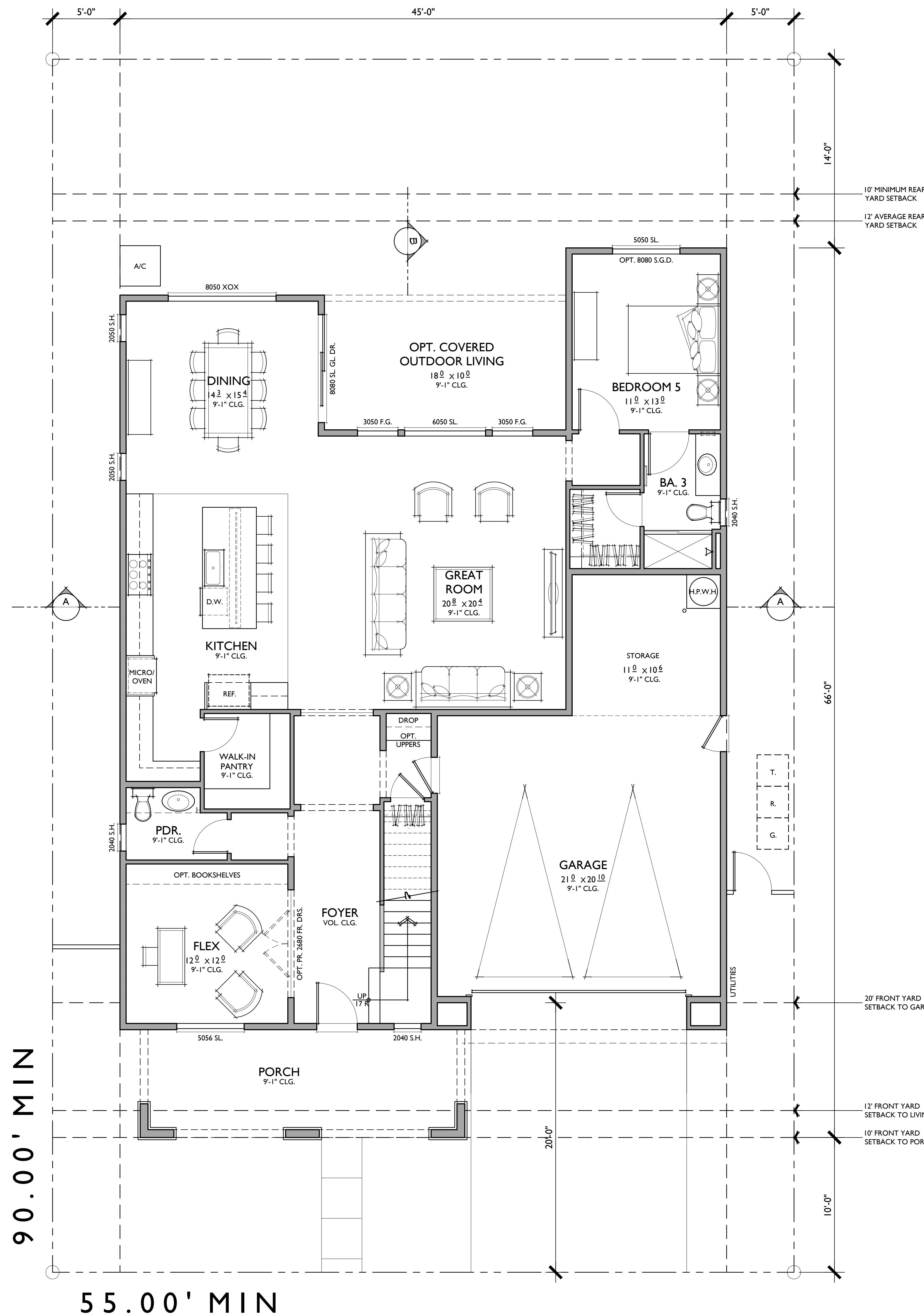
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**PLAN 2C**  
Reflects Monterey Elevation  
**TRAILS AT CREEKSIDE 55X90 SFD**

Antioch, California  
0 2 4 8  
667.24253



**PLAN 2C**  
**3,477 SQ. FT.**  
5 BEDROOMS / 3.5 BATHS  
2 - BAY GARAGE

**FLOOR AREA TABLE**

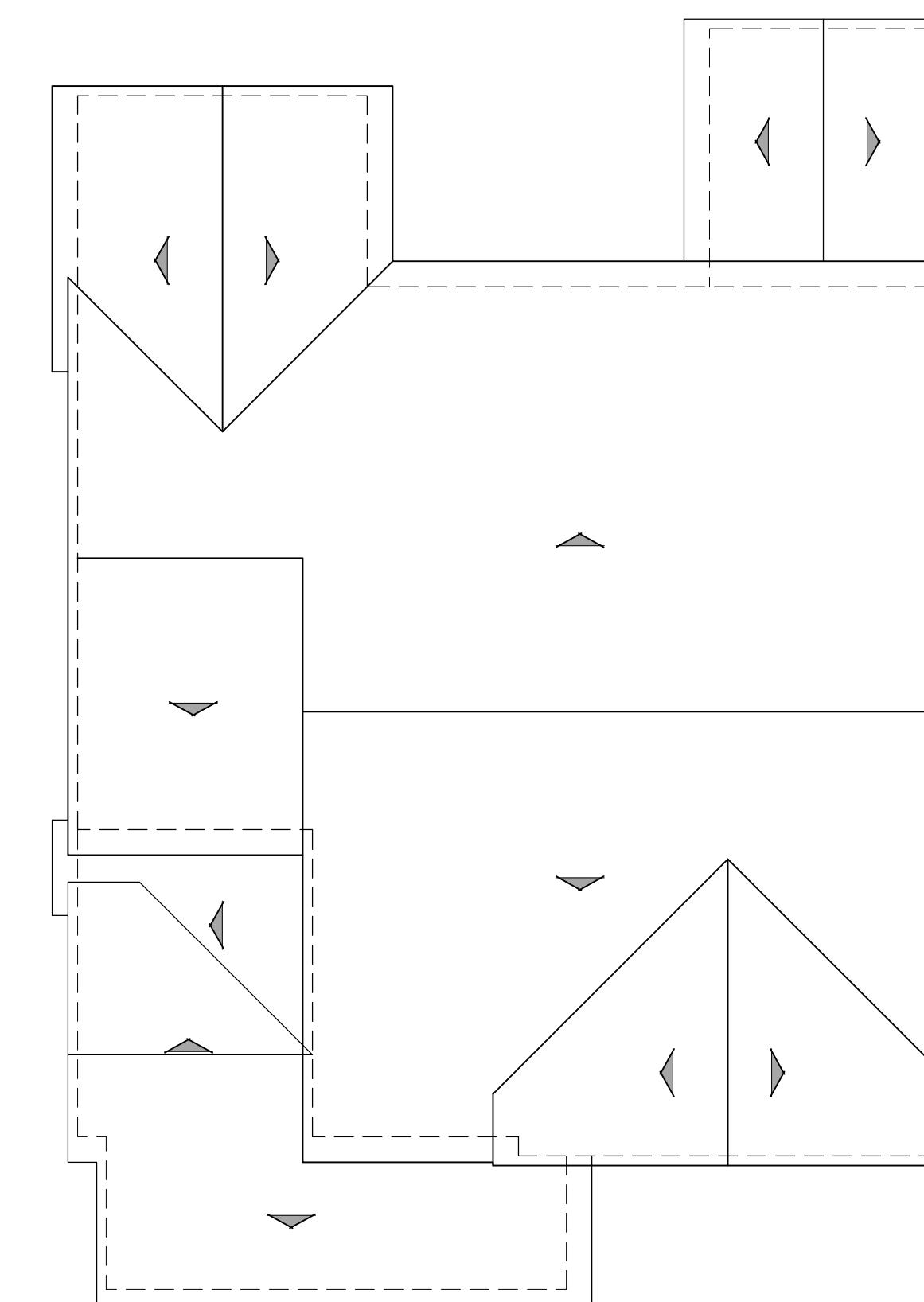
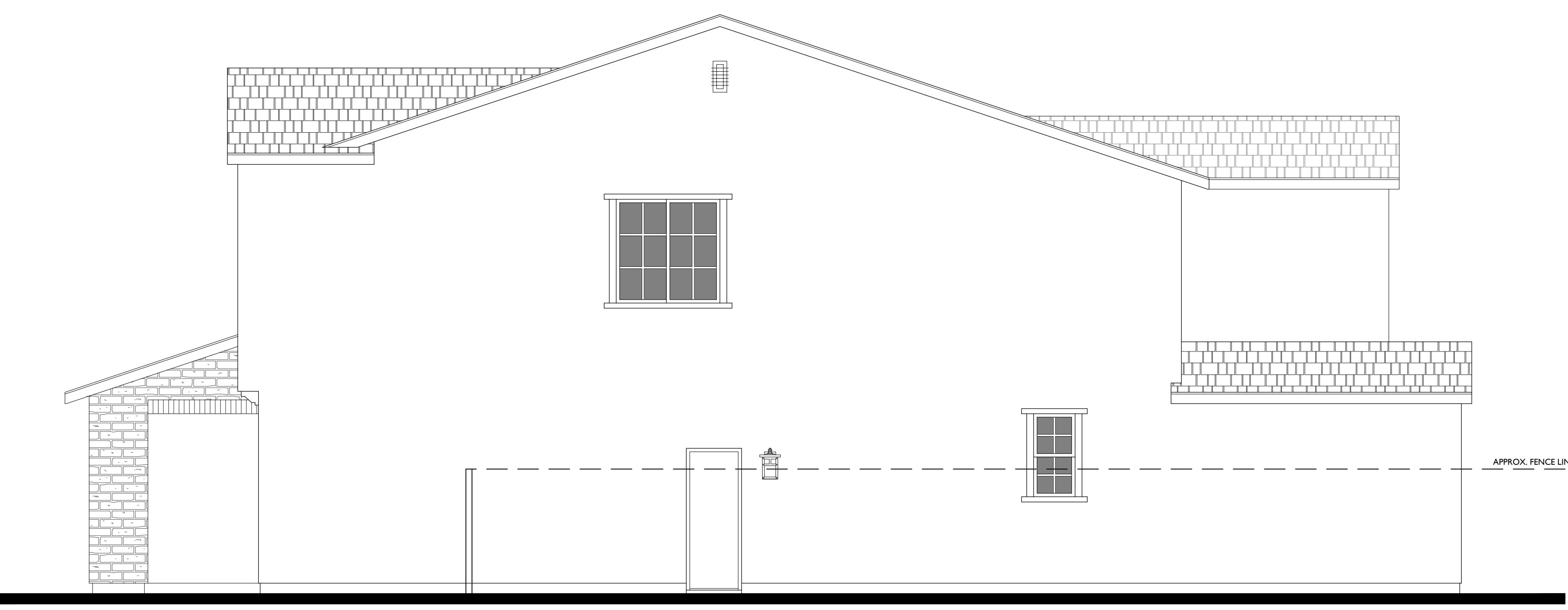
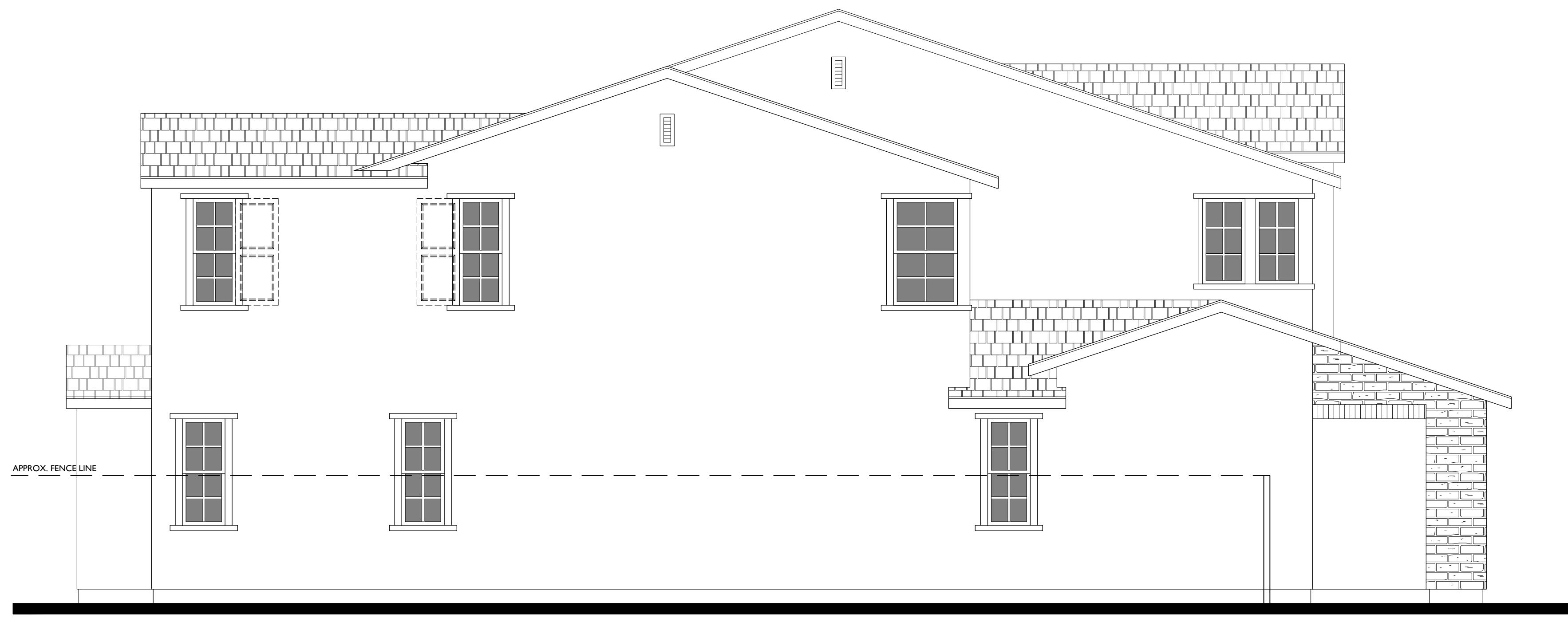
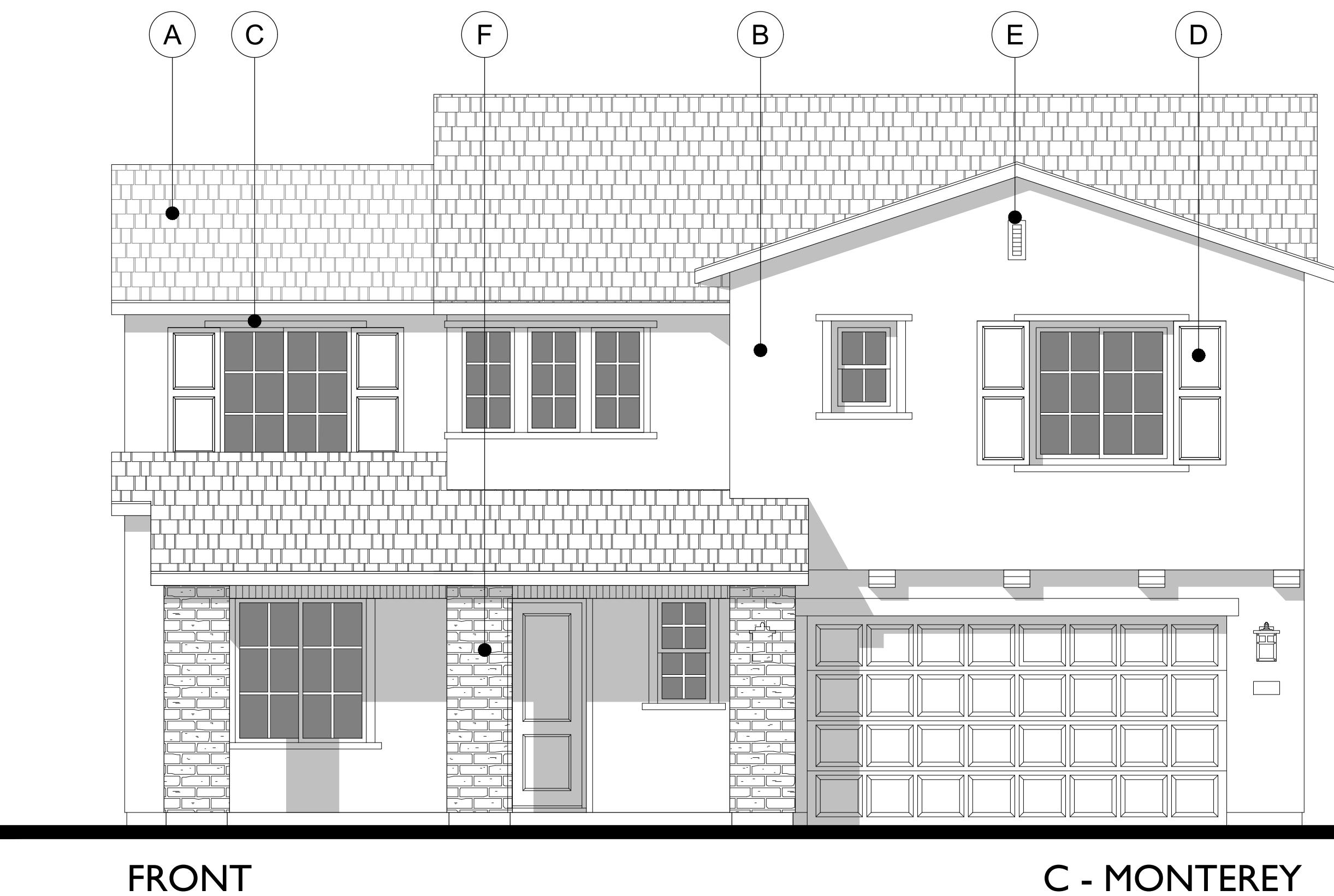
1ST FLOOR	1,696 SQ. FT.
2ND FLOOR	1,781 SQ. FT.
<b>TOTAL LIVING</b>	<b>3,477 SQ. FT.</b>
2 - BAY GARAGE	577 SQ. FT.
COVERED OUTDOOR LIVING	179 SQ. FT.
PORCH	193 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

12.06.24

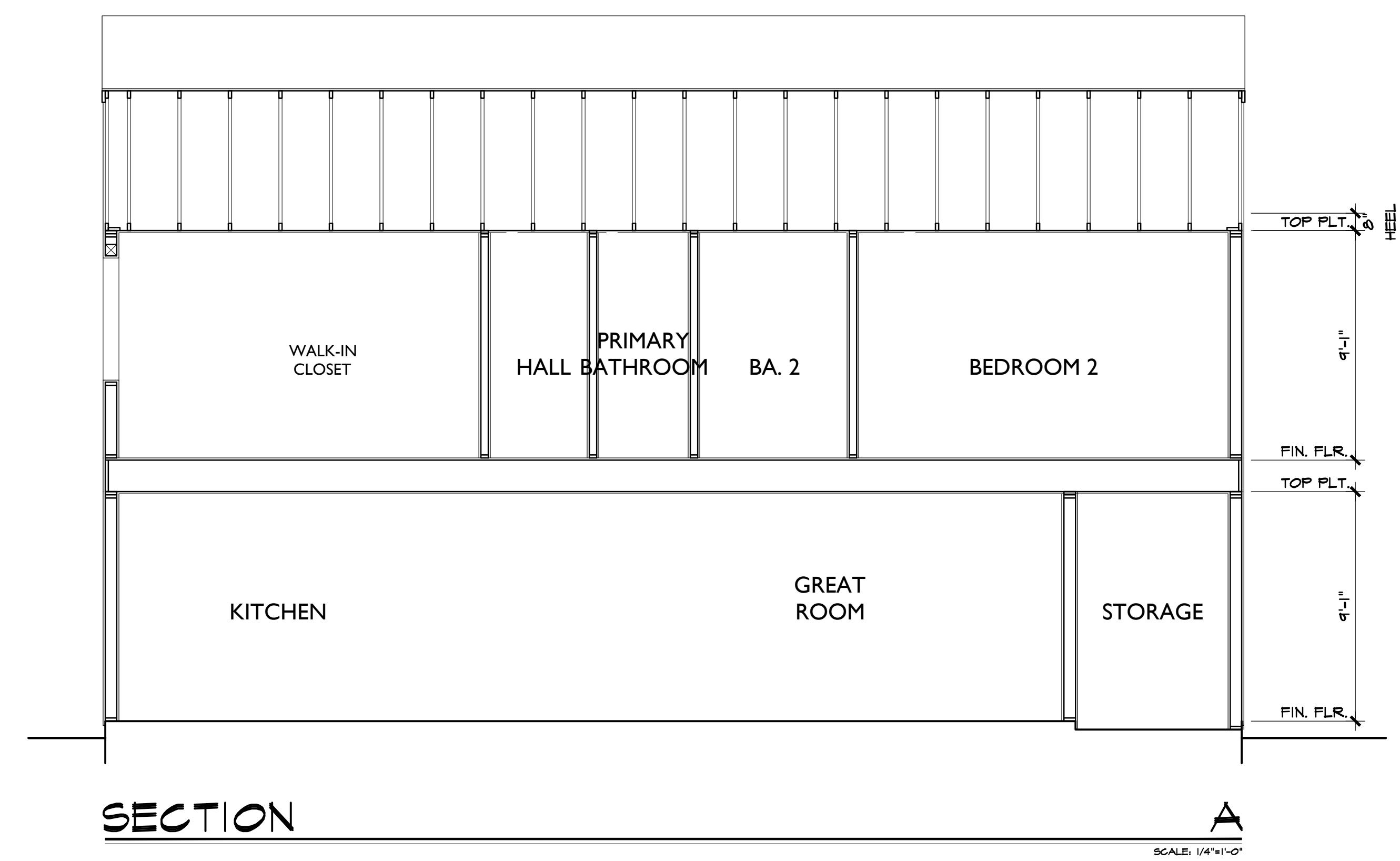
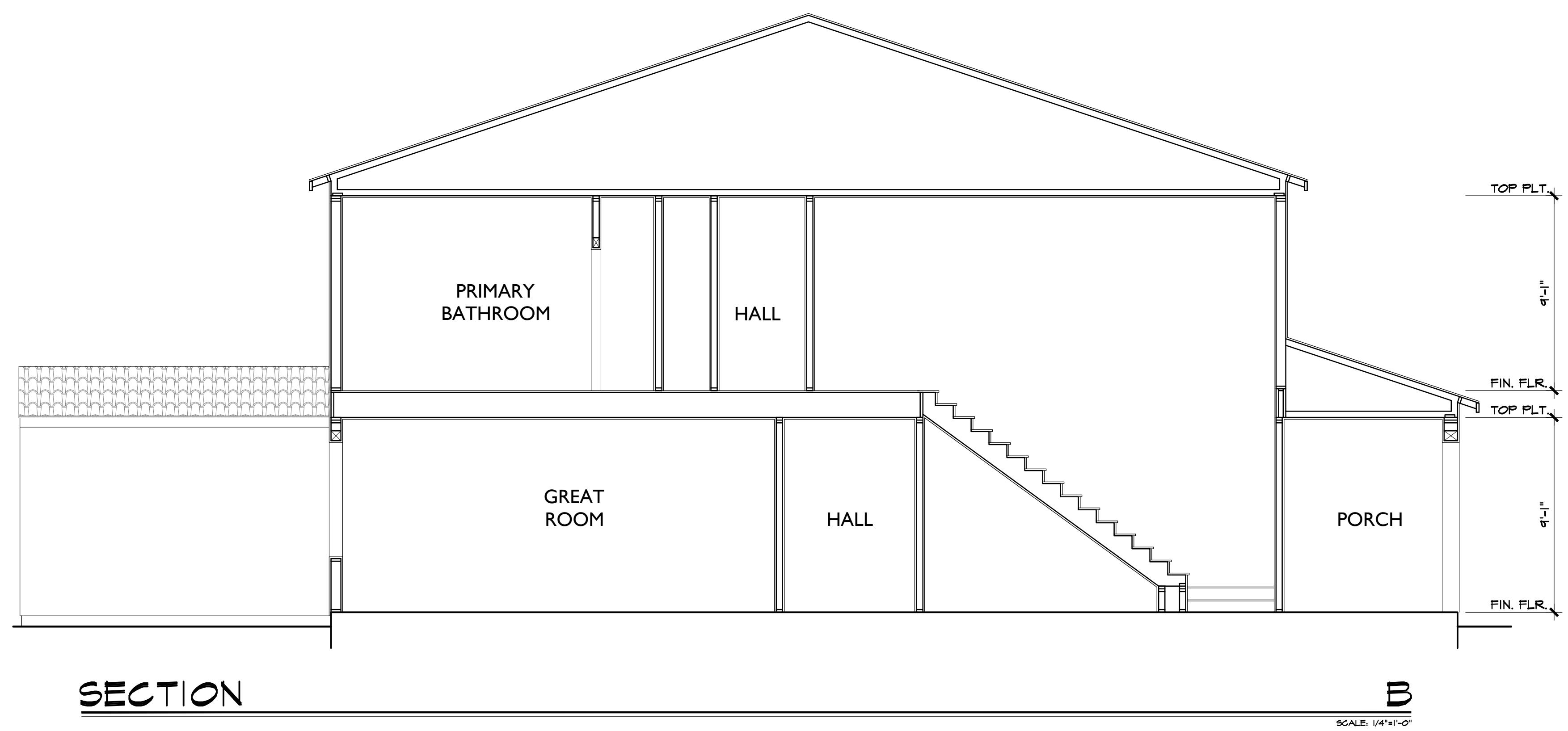
**SHEET**  
**A2.07**

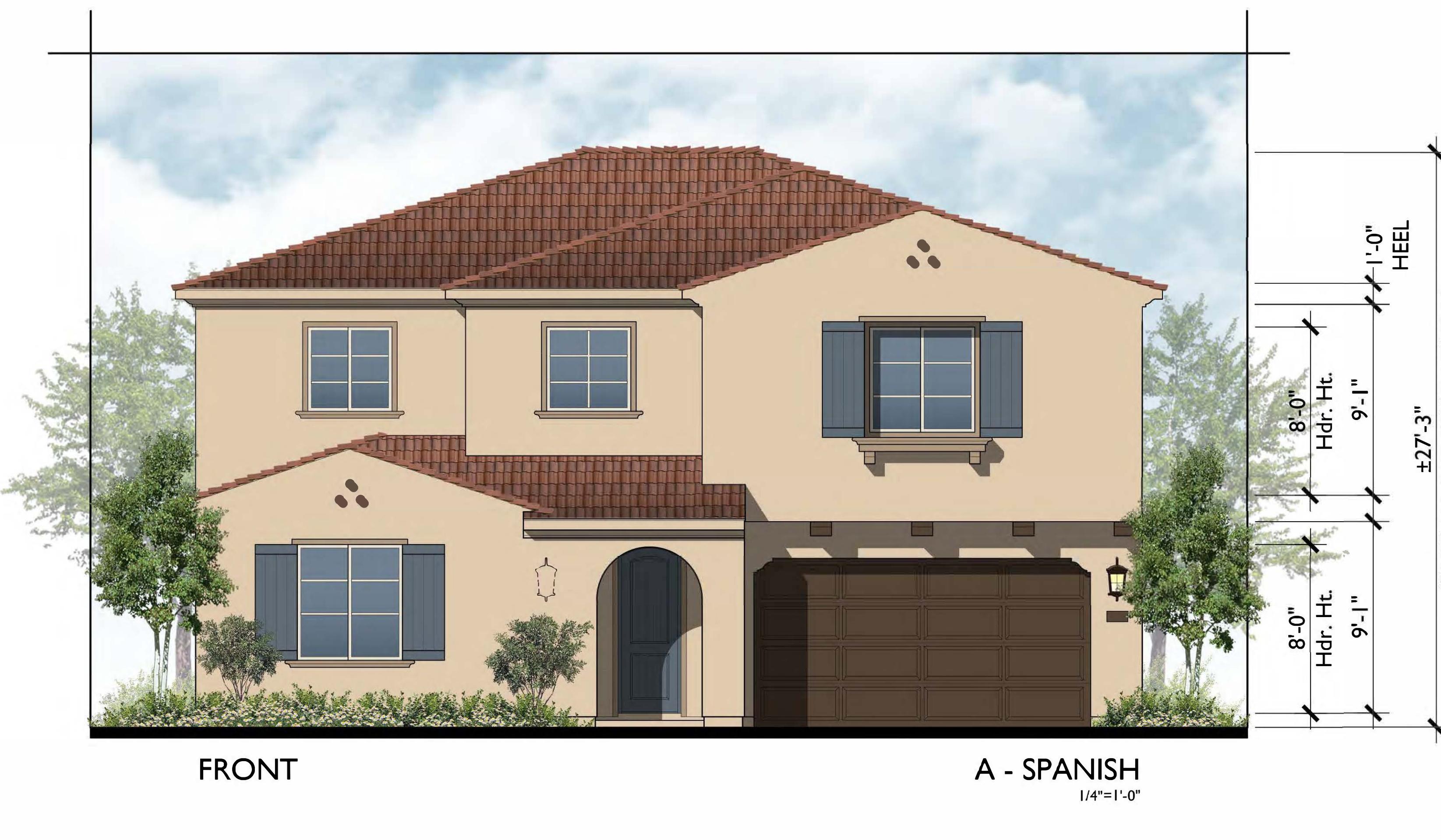
**tri pointe**  
HOMES B66



ROOF PLAN C

PITCH: 4:12 U.N.O.  
RAKE: 6'  
EAVE: 16'  
ROOF MATERIAL: CONCRETE FLAT TILE

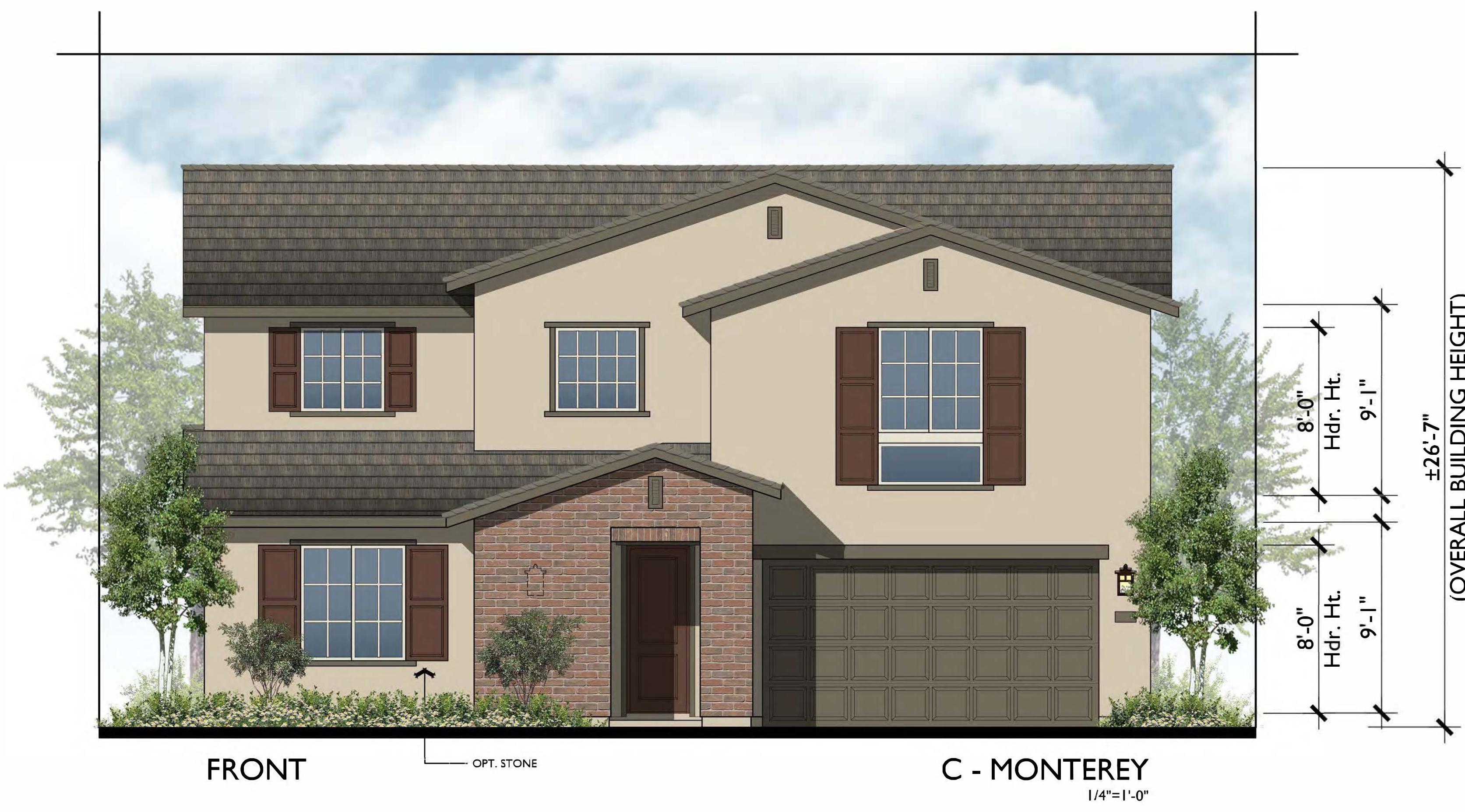




FRONT

# A - SPANISH

$1/4"$  =  $1'-0"$

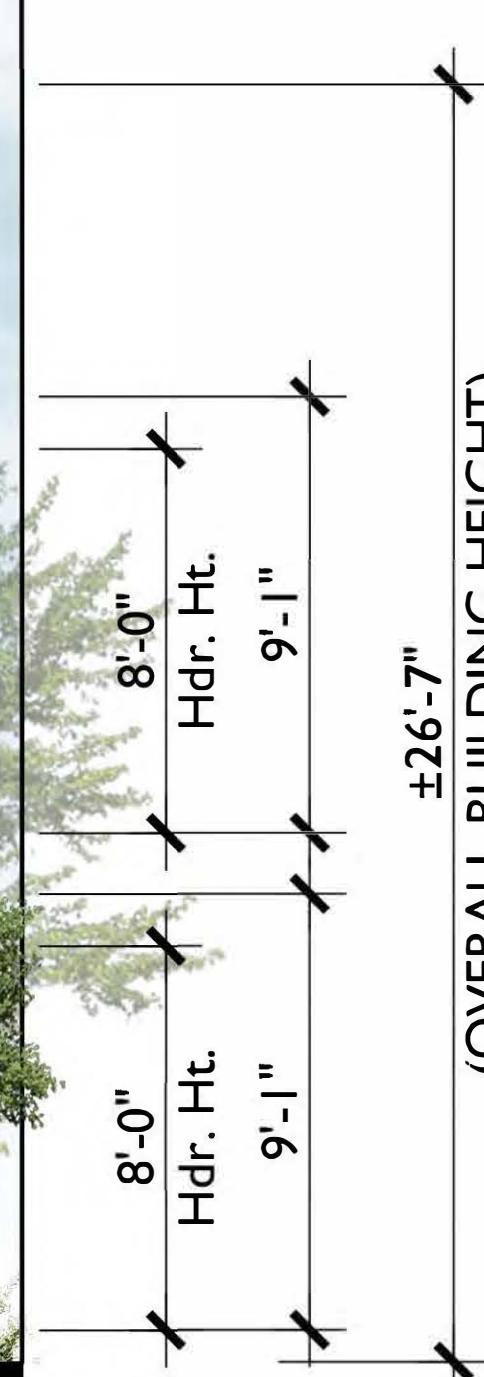


## FRONT

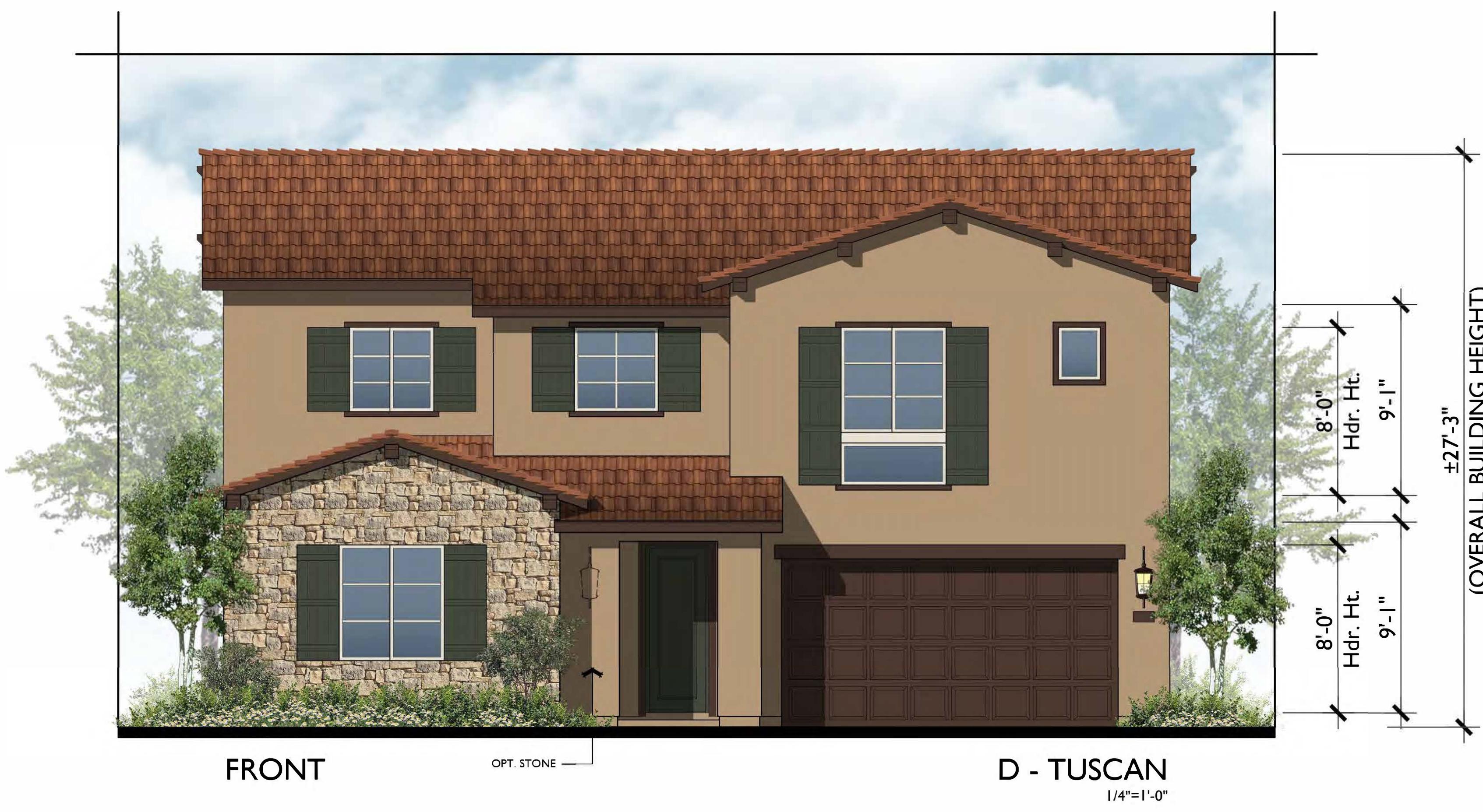
OPT. STO

C - MONTEREY  
1411-11

1/4"=1'-



**(OVERALL BUILDING HEIGHT)  
±26'-7"**

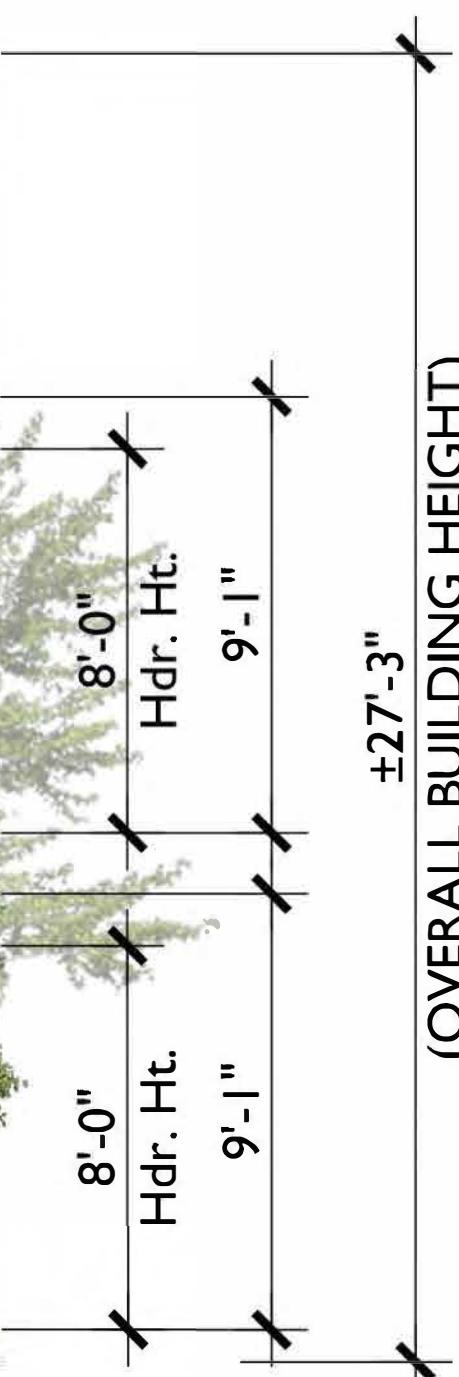


FRONT

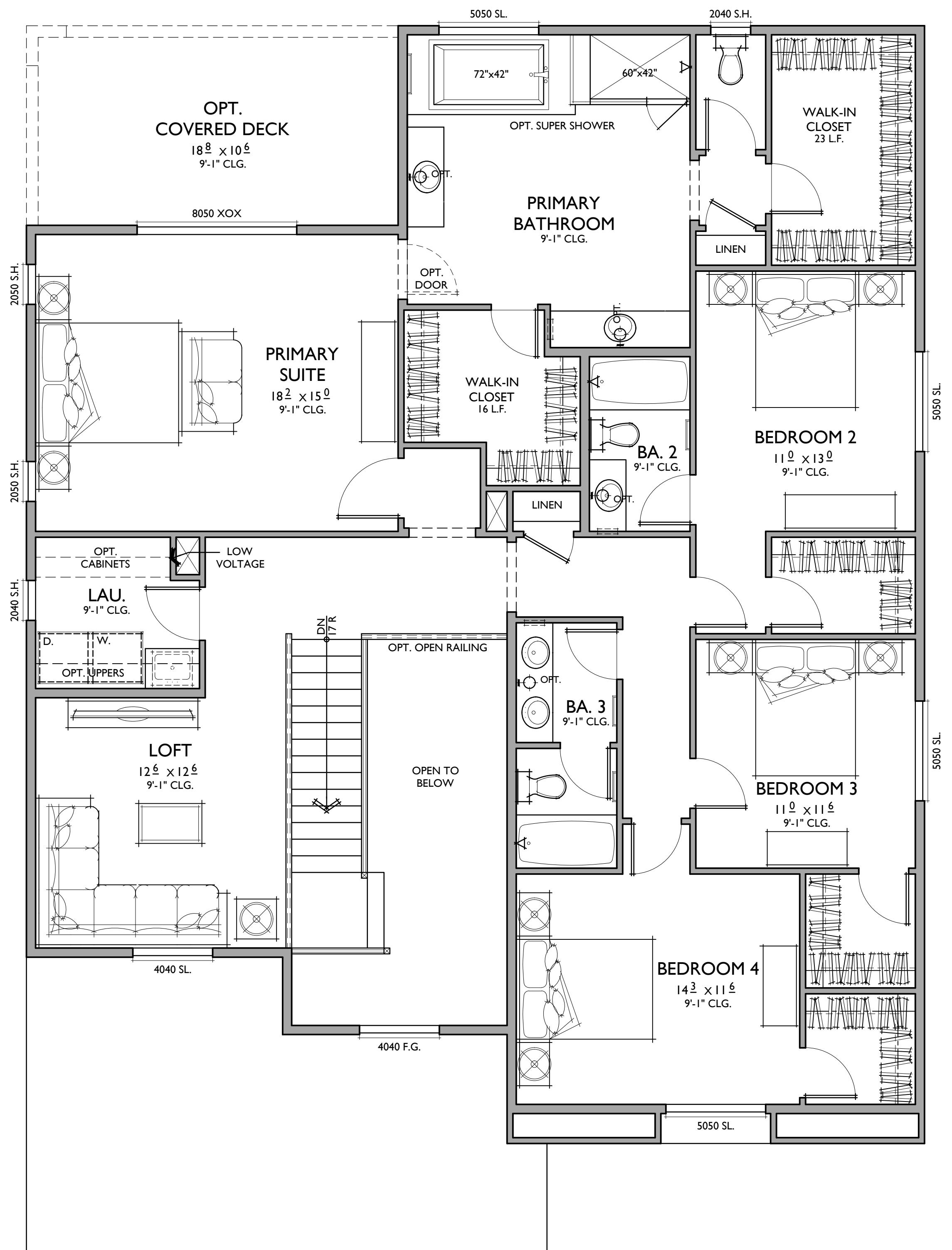
OPT. STON

D - TUSCAN

$1/4"$  =  $1'-0"$



**(OVERALL BUILDING HEIGHT)  
±27'-3"**



# PLAN 3A

Reflects Spanish Elevation

# TRAILS AT CREEKSIDE 55X90 SFD

# Bassenian Lagoni

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## Antioch , California

667.24235

## Antioch , California

A horizontal number line starting at 0 and ending at 8. Tick marks are present at every integer from 0 to 8. The numbers 6, 6, 7, and 2 are circled.

667.24235

# PLAN 3A

---

**3,684 SQ. FT.**

**5 BEDROOMS / 4.5 BATHS + LOFT + FLEX / OPT. GENSMART SUITE**

# 2 - BAY GARAGE + STORAGE

<b>FLOOR AREA TABLE</b>	
1ST FLOOR	1,779 SQ. FT.
2ND FLOOR	1,905 SQ. FT.
<b>TOTAL LIVING</b>	<b>3,684 SQ. FT.</b>
GARAGE	620 SQ. FT.
COVERED OUTDOOR LIVING	186 SQ. FT.
PORCH	51 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

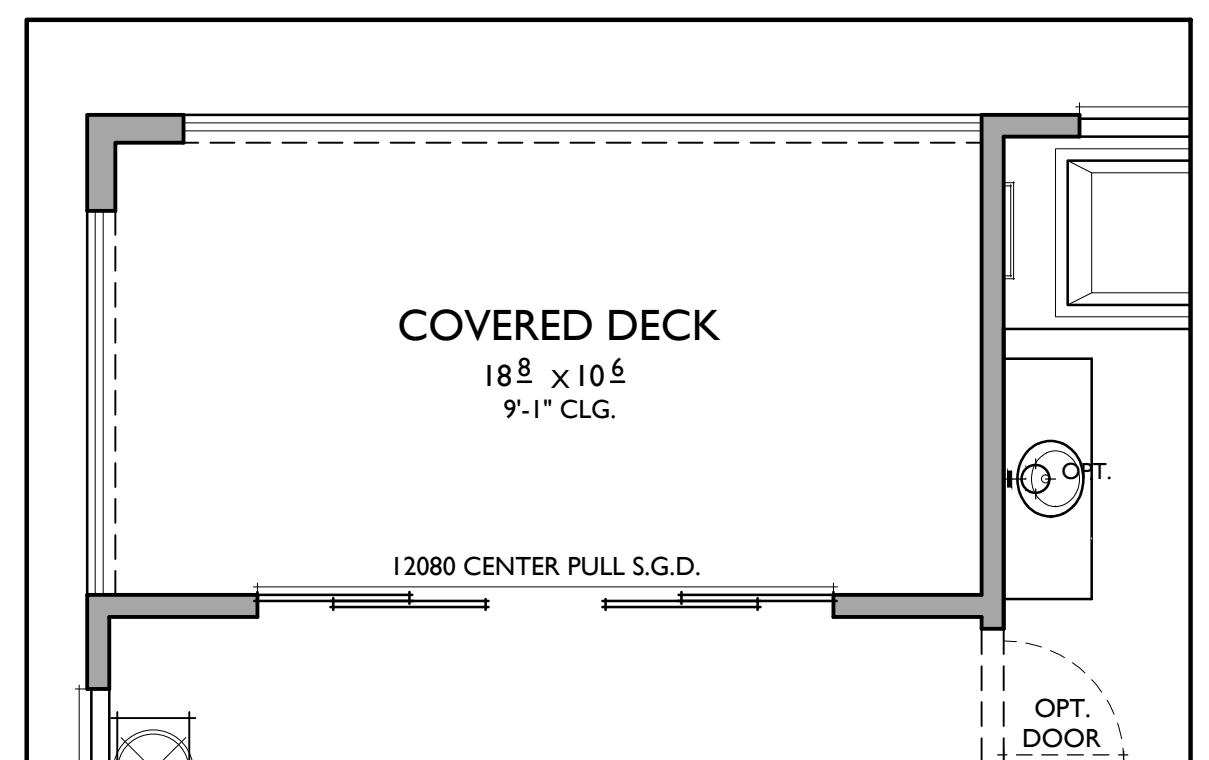
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Page 1 of 1

HEET  
2/2

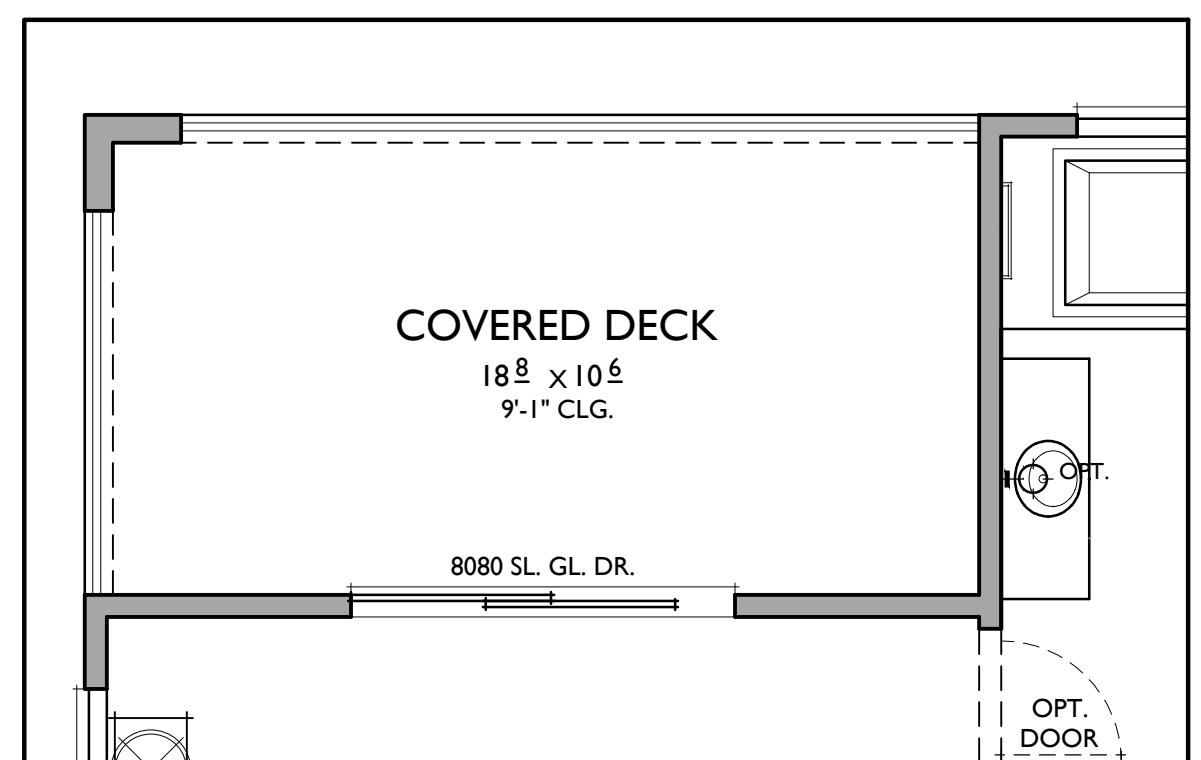
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# tri pointe<sup>®</sup> HOME B70



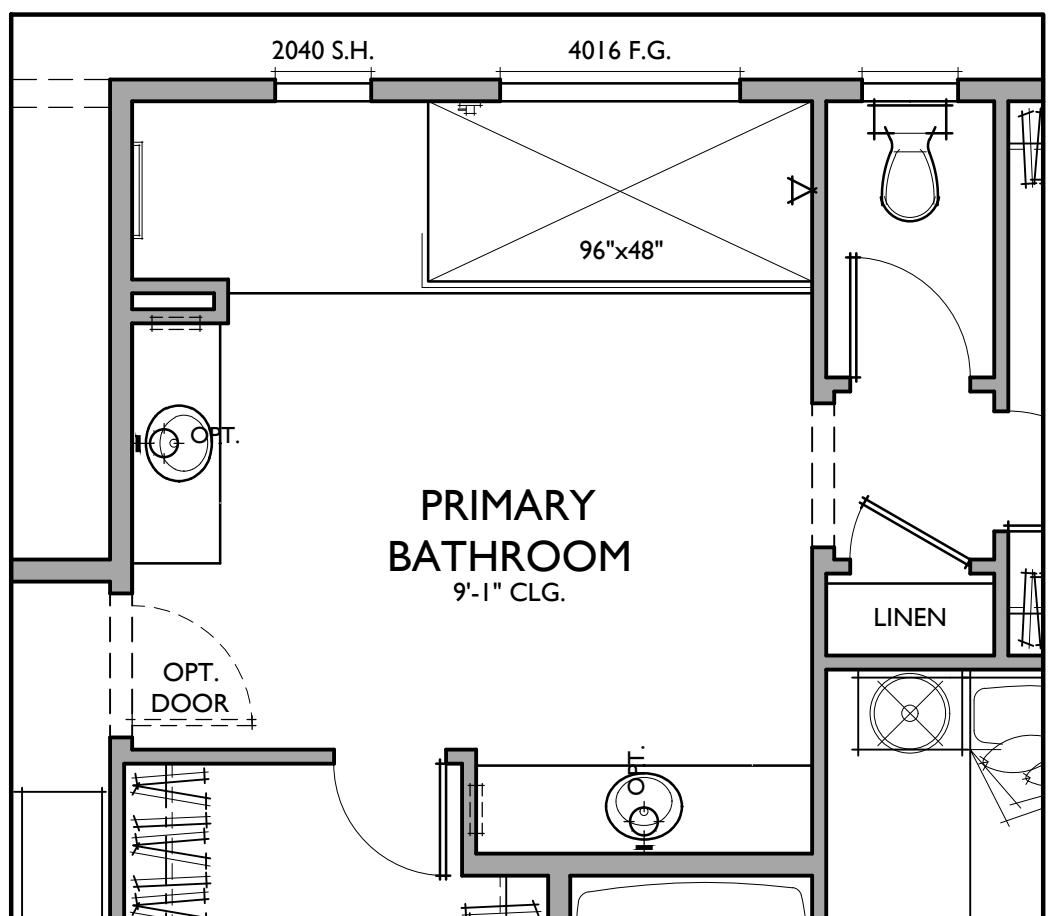
**OPTIONAL COVERED DECK**

w/ 12080 CENTER PULL S.G.D.



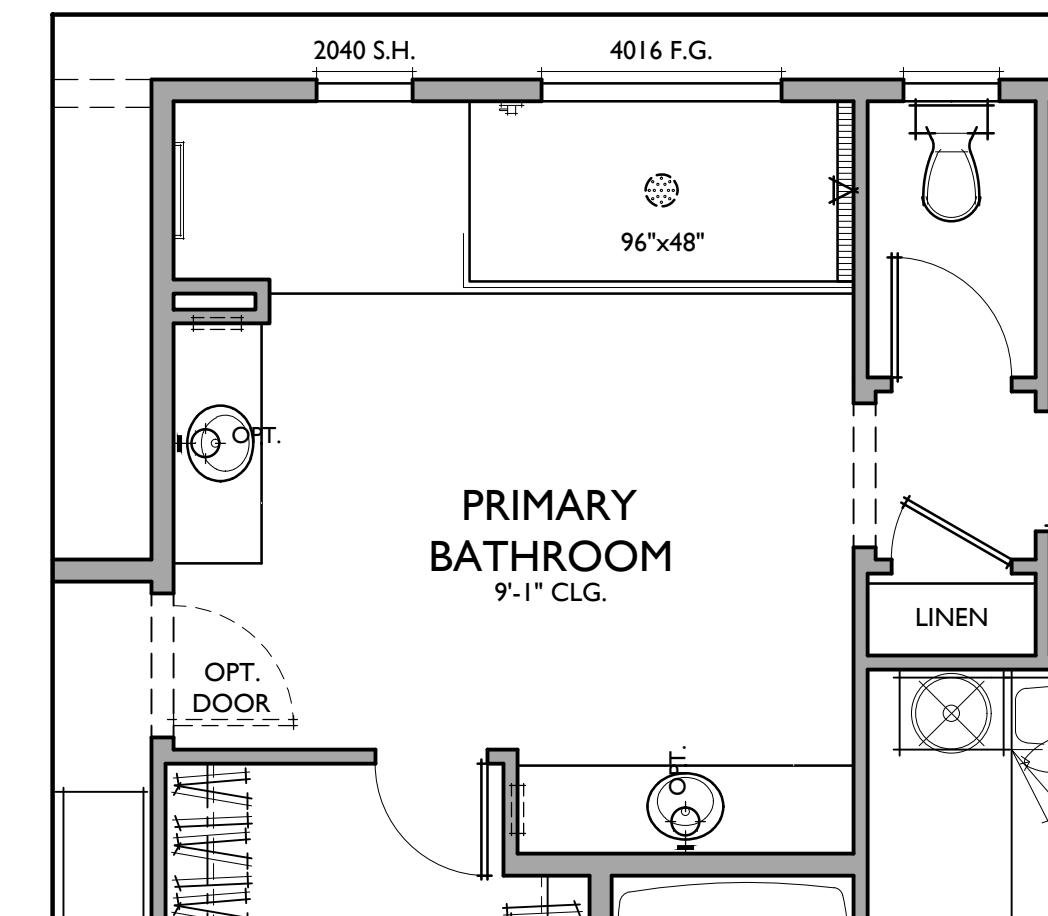
**OPTIONAL COVERED DECK**

AT PRIMARY SUITE



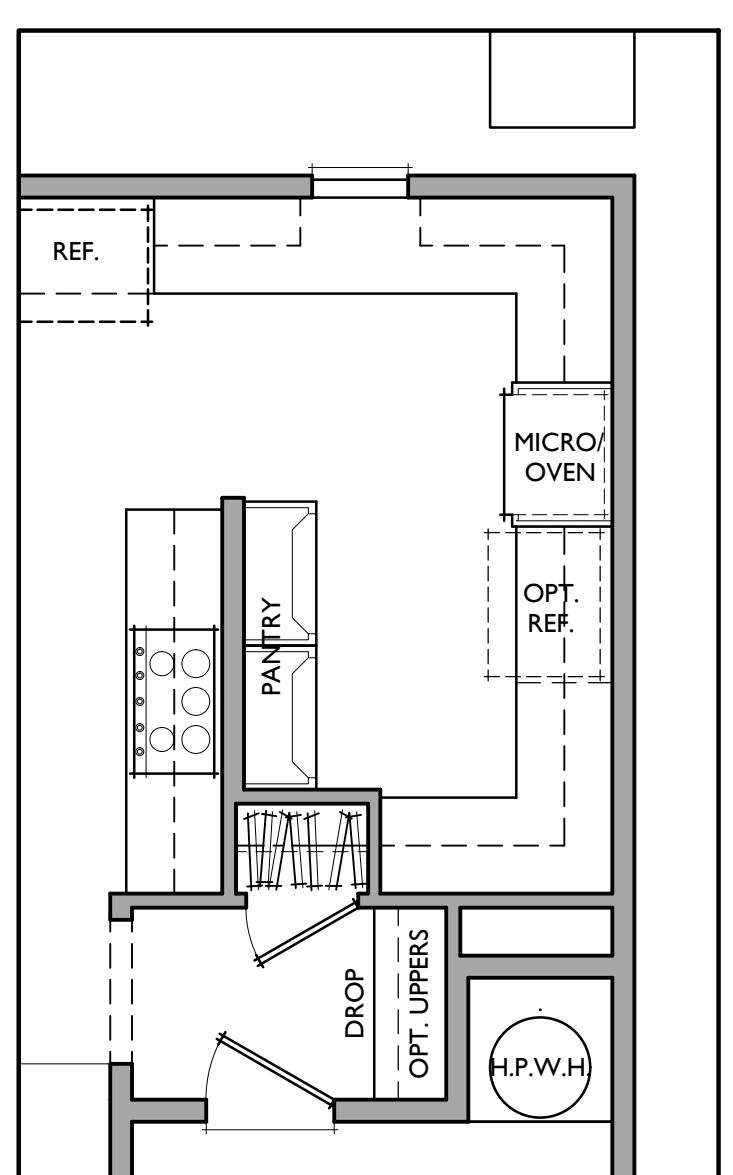
**OPTIONAL SUPER SHOWER**

IN LIEU OF TUB



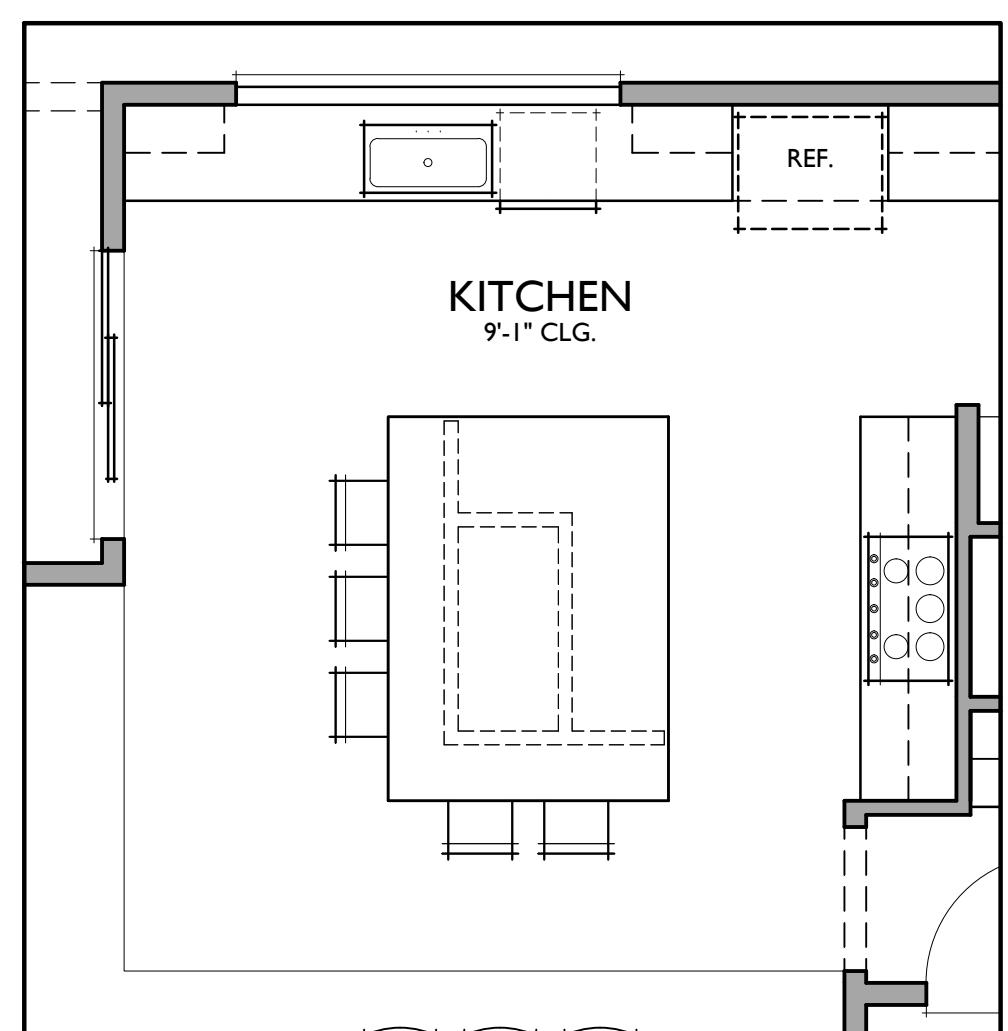
**OPTIONAL SPA SHOWER**

IN LIEU OF TUB



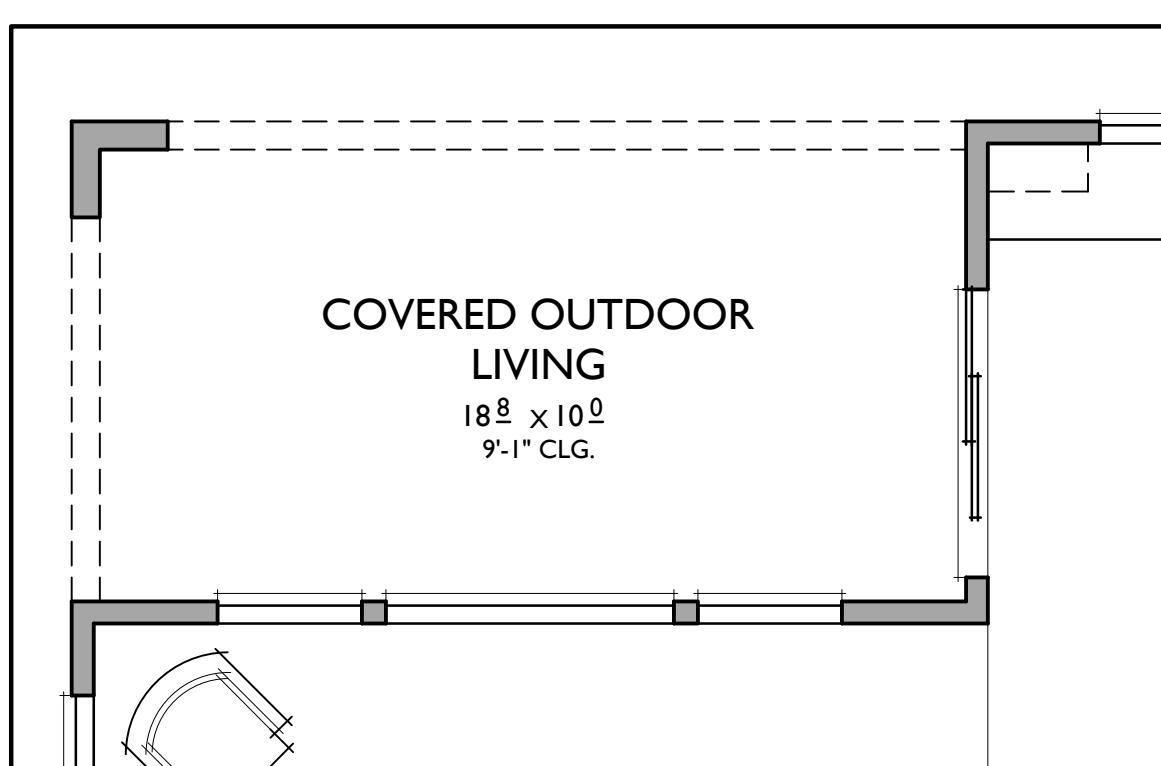
**OPTIONAL BUILT-IN PANTRY**

IN LIEU OF WALK-IN PANTRY

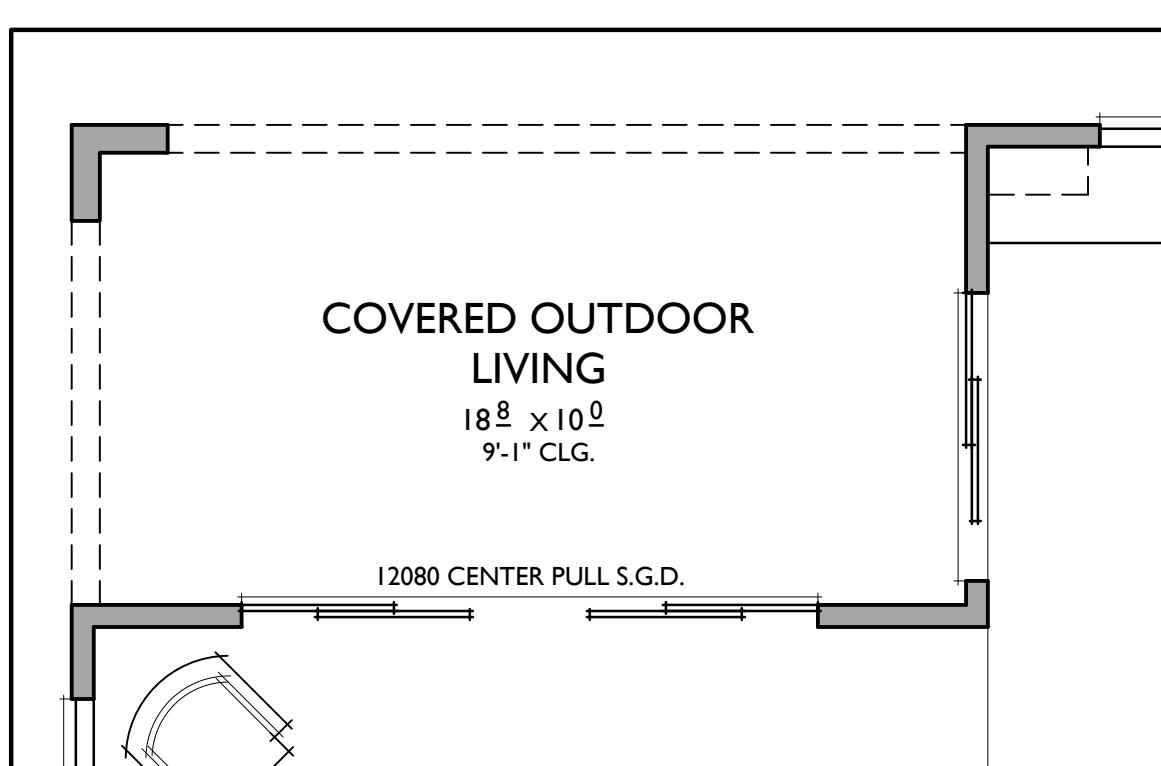


**OPTIONAL EXTENDED ISLAND**

AT KITCHEN

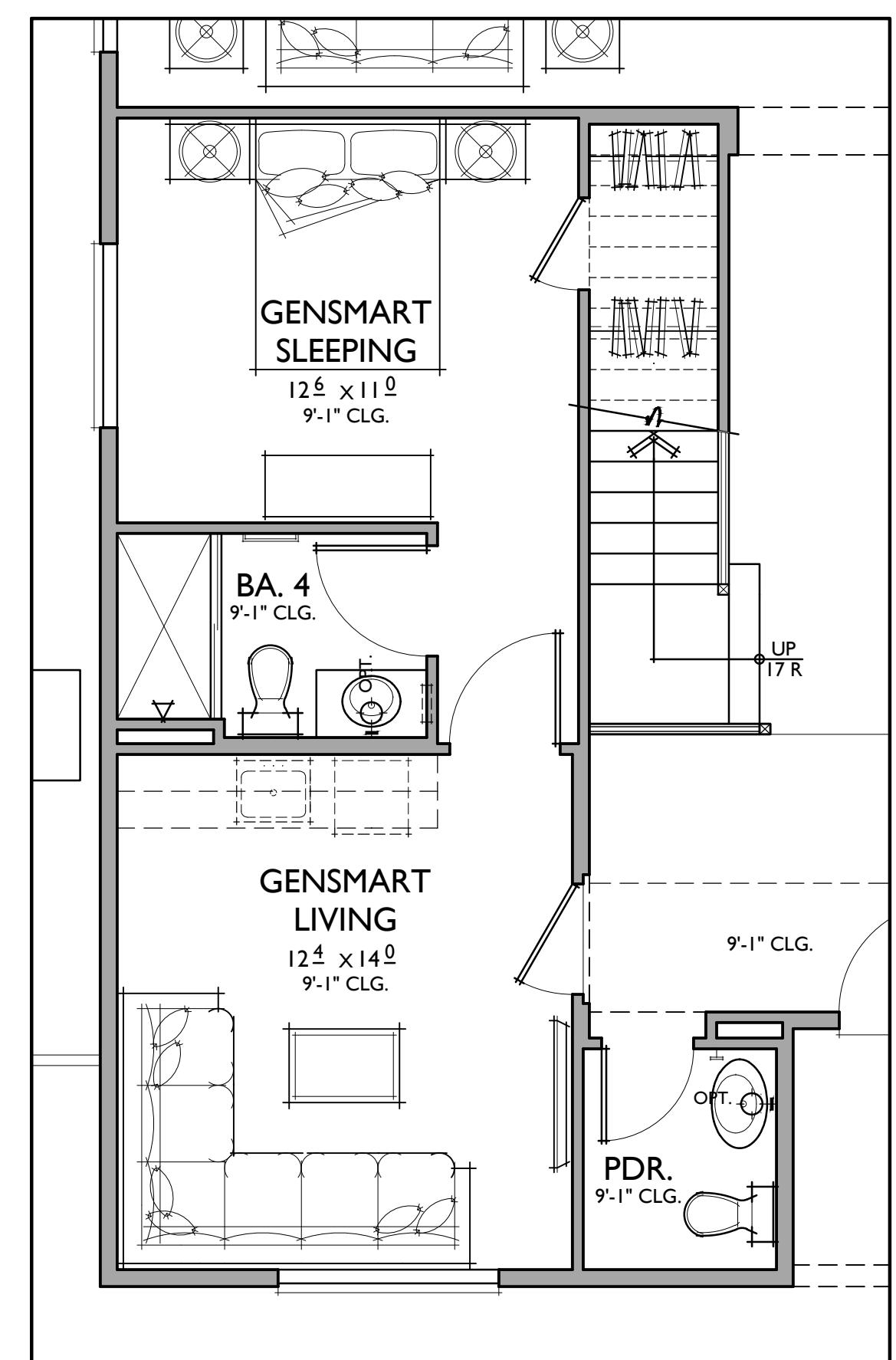


**OPTIONAL COVERED OUTDOOR LIVING**



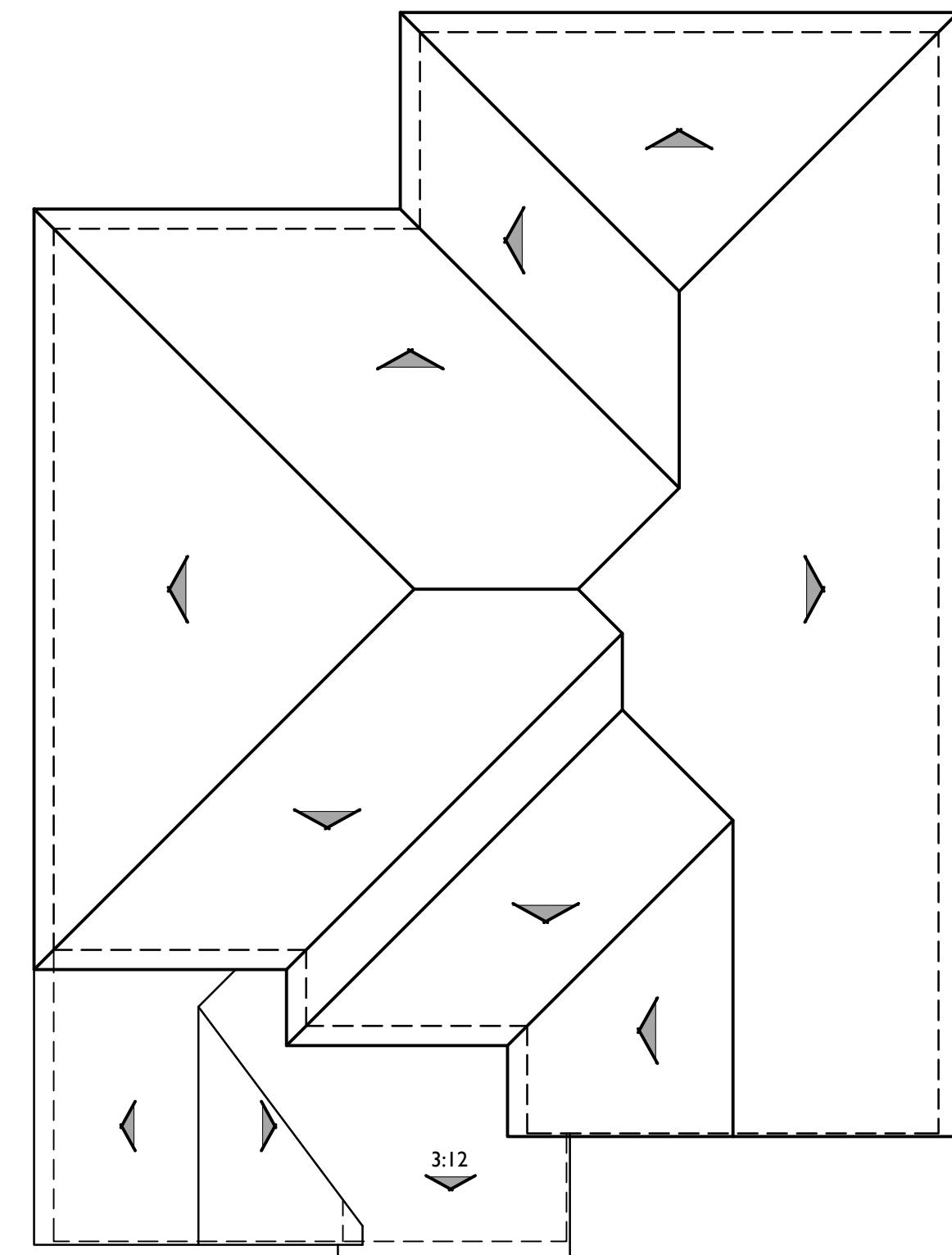
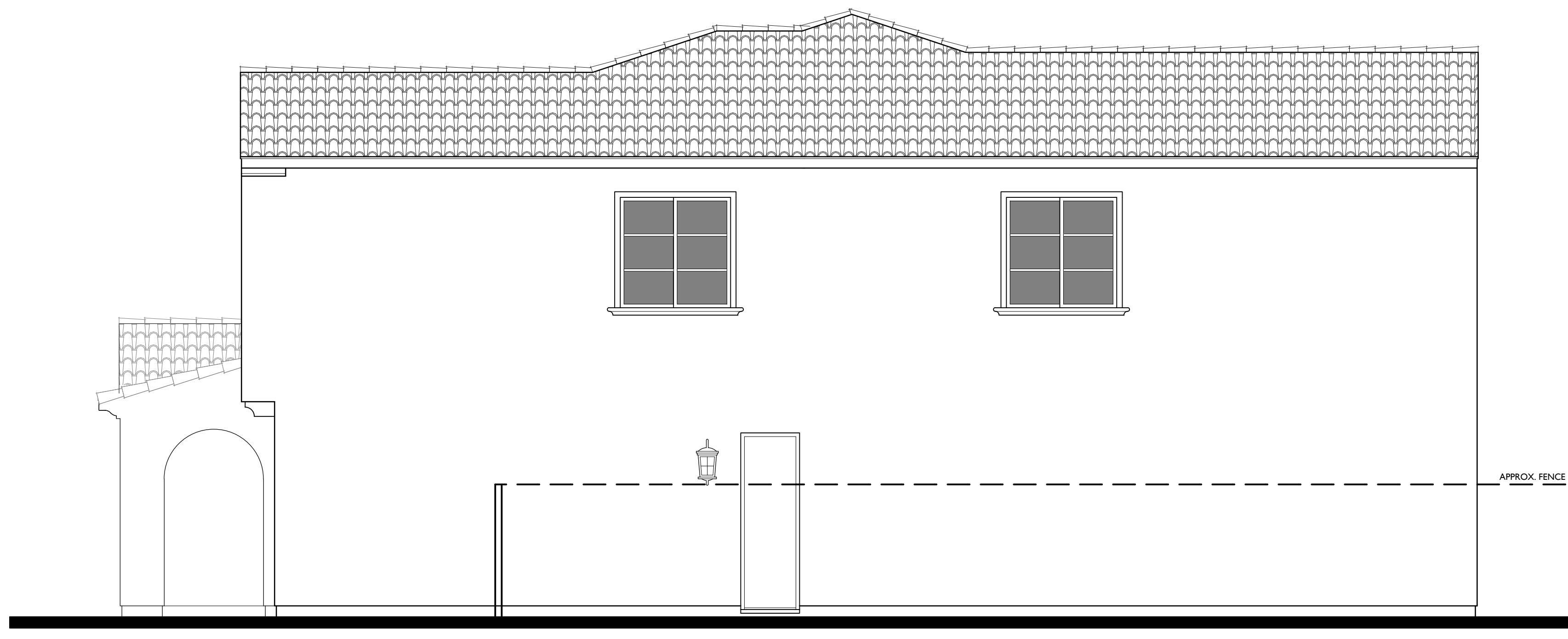
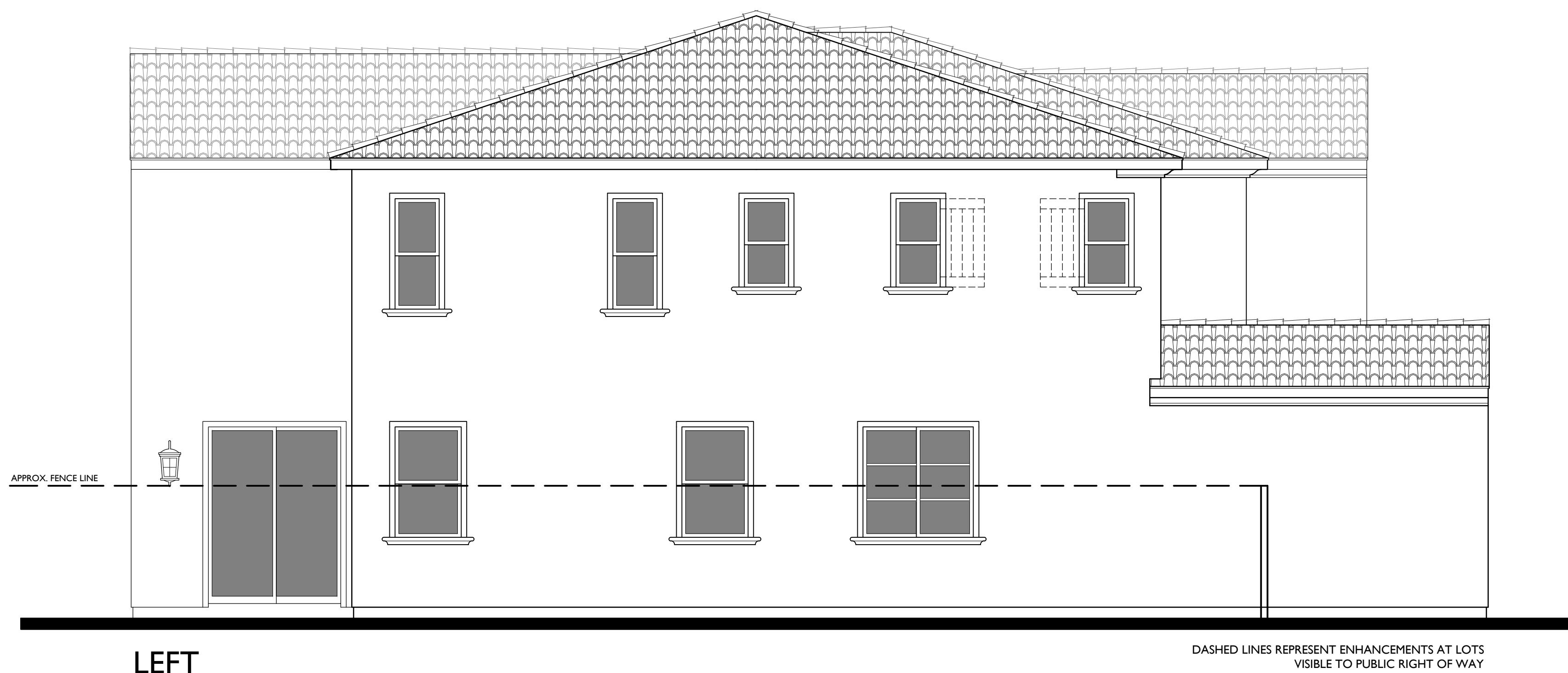
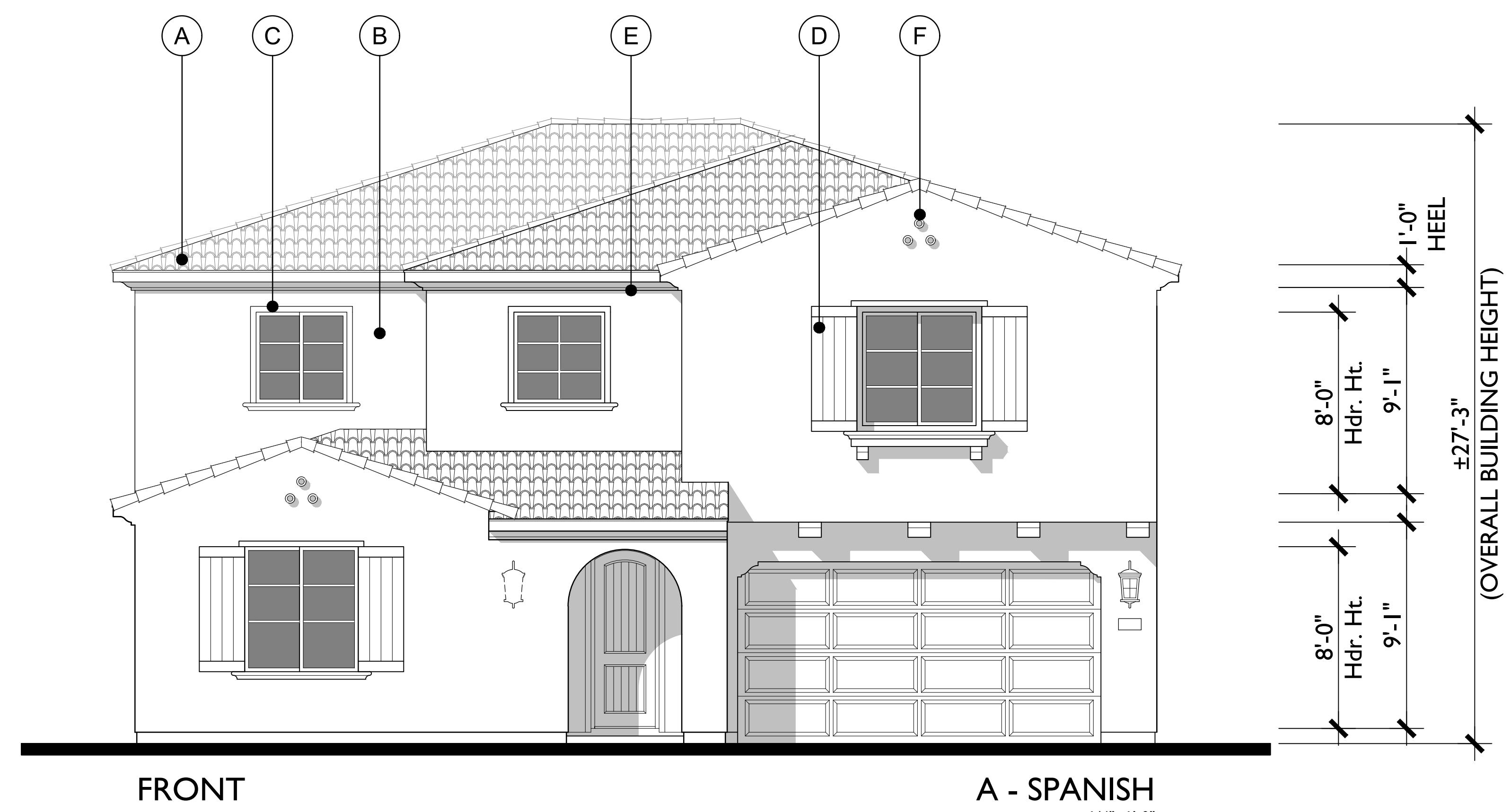
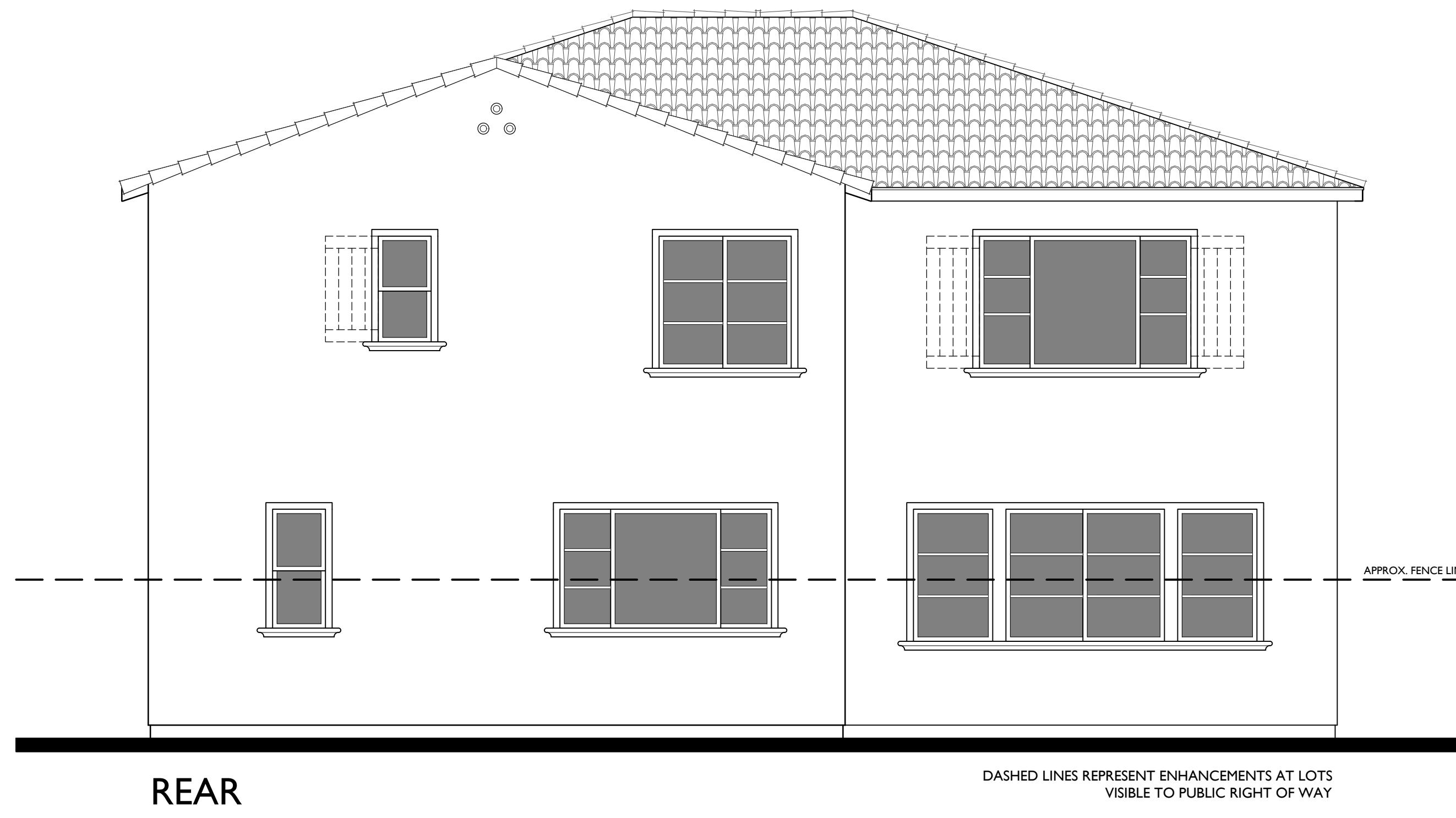
**OPTIONAL 12080 CENTER PULL S.G.D.**

AT COVERED OUTDOOR LIVING



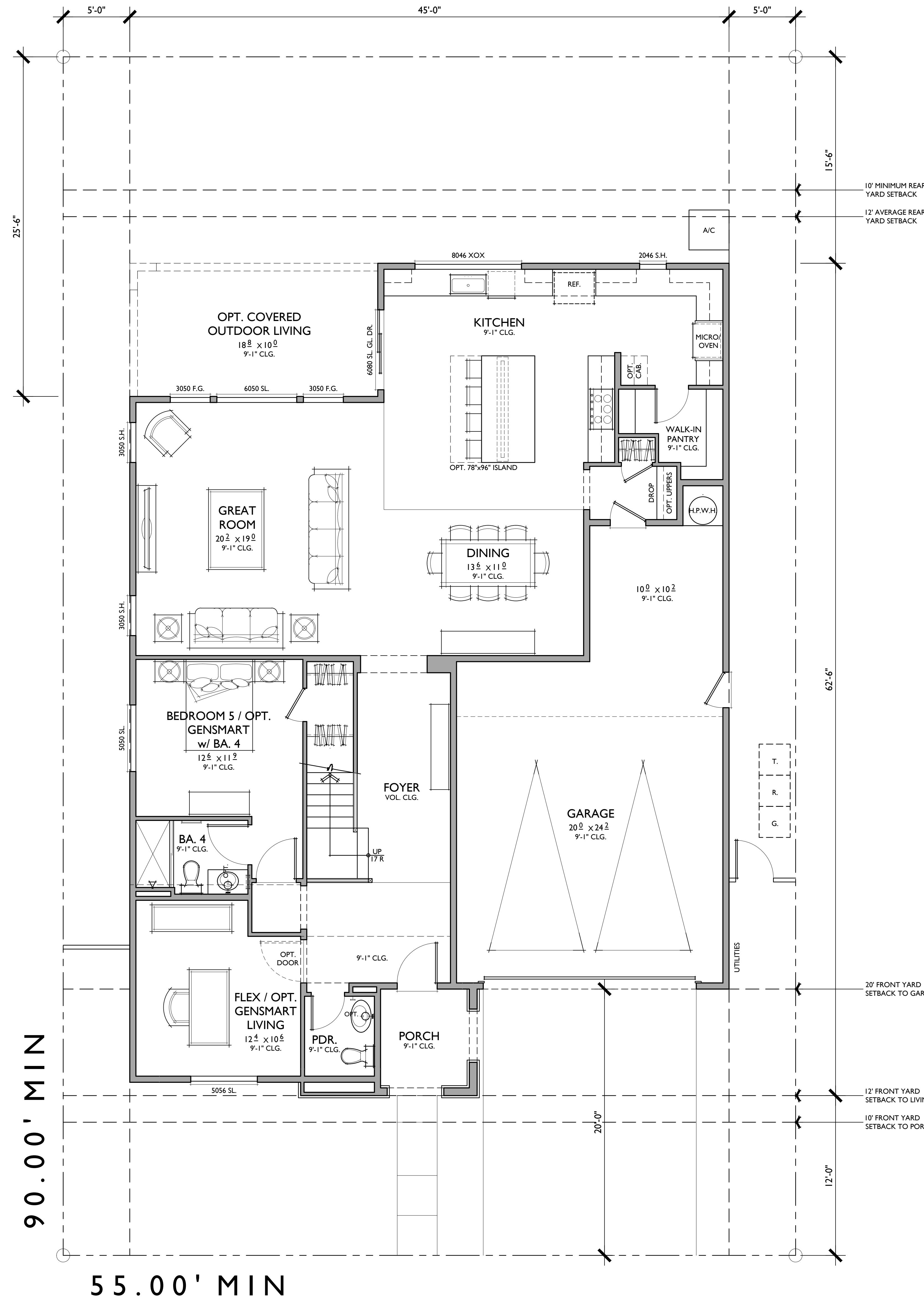
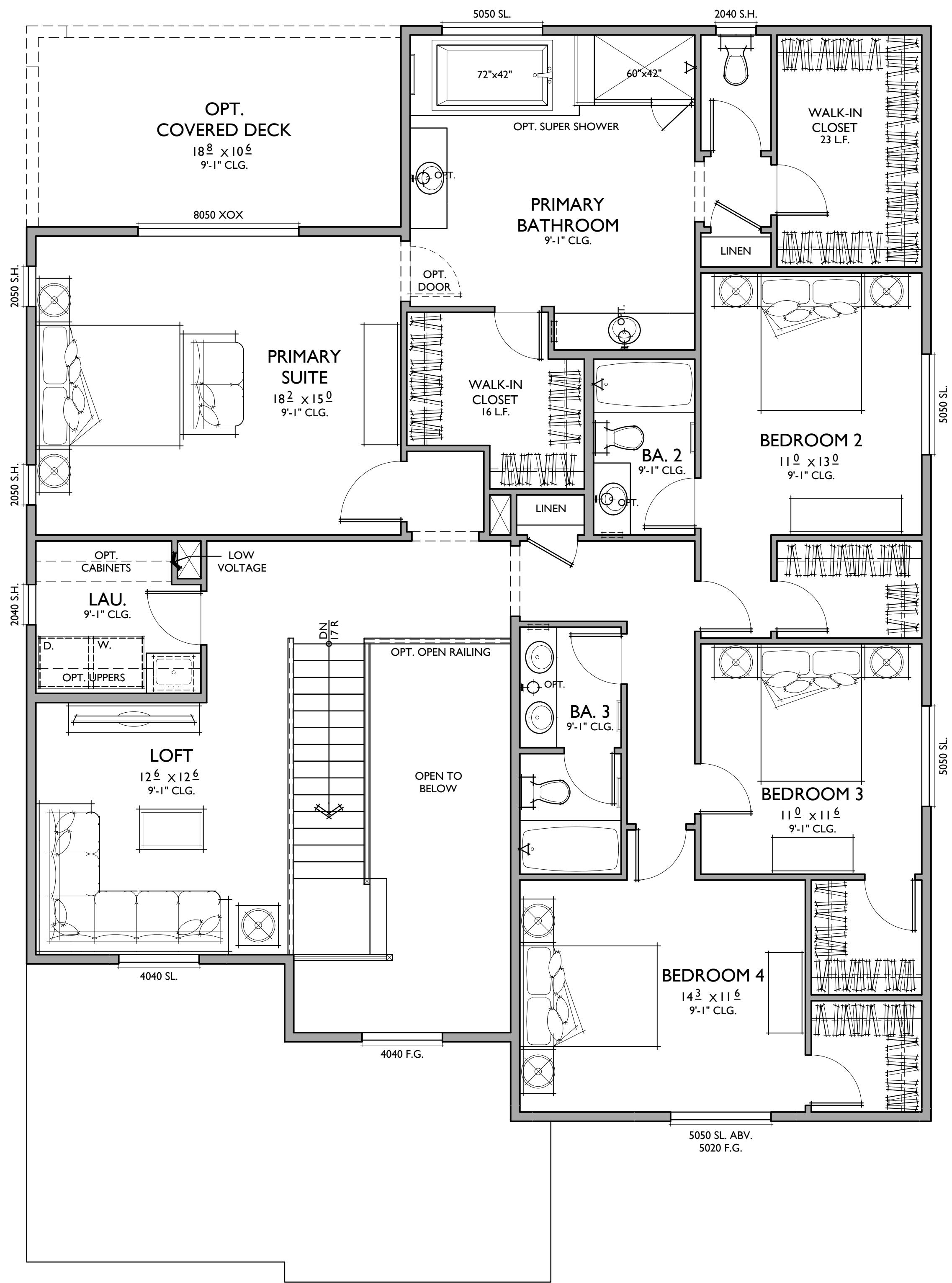
**OPTIONAL GENSMART SUITE w/ BA. 4**

IN LIEU OF FLEX



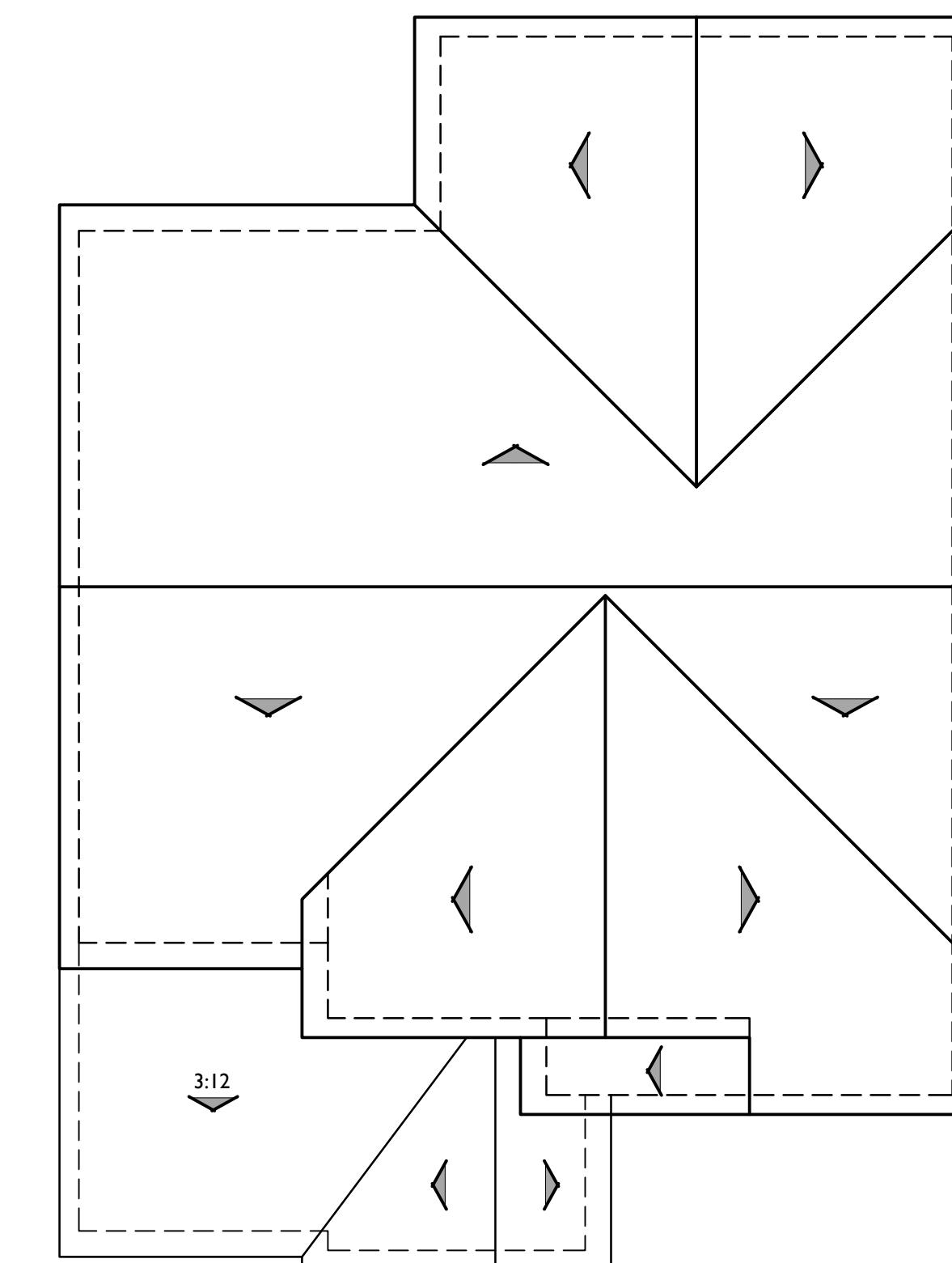
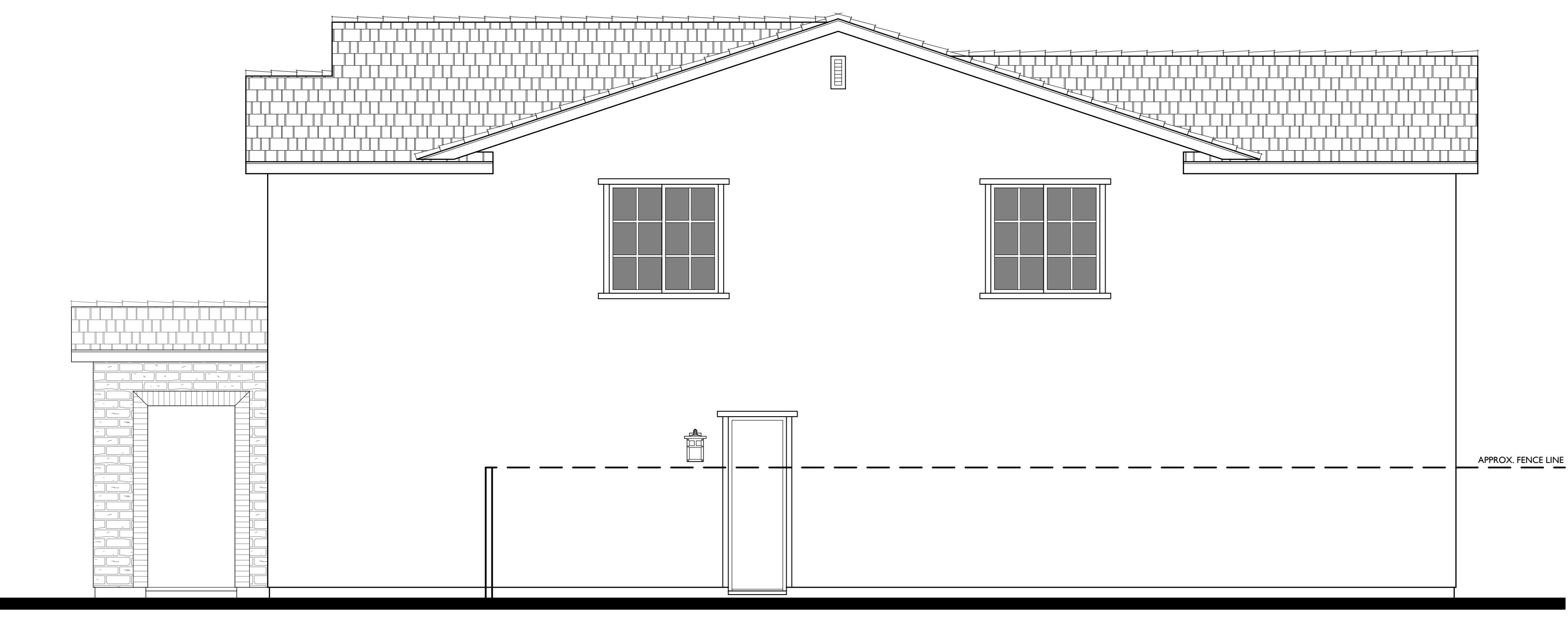
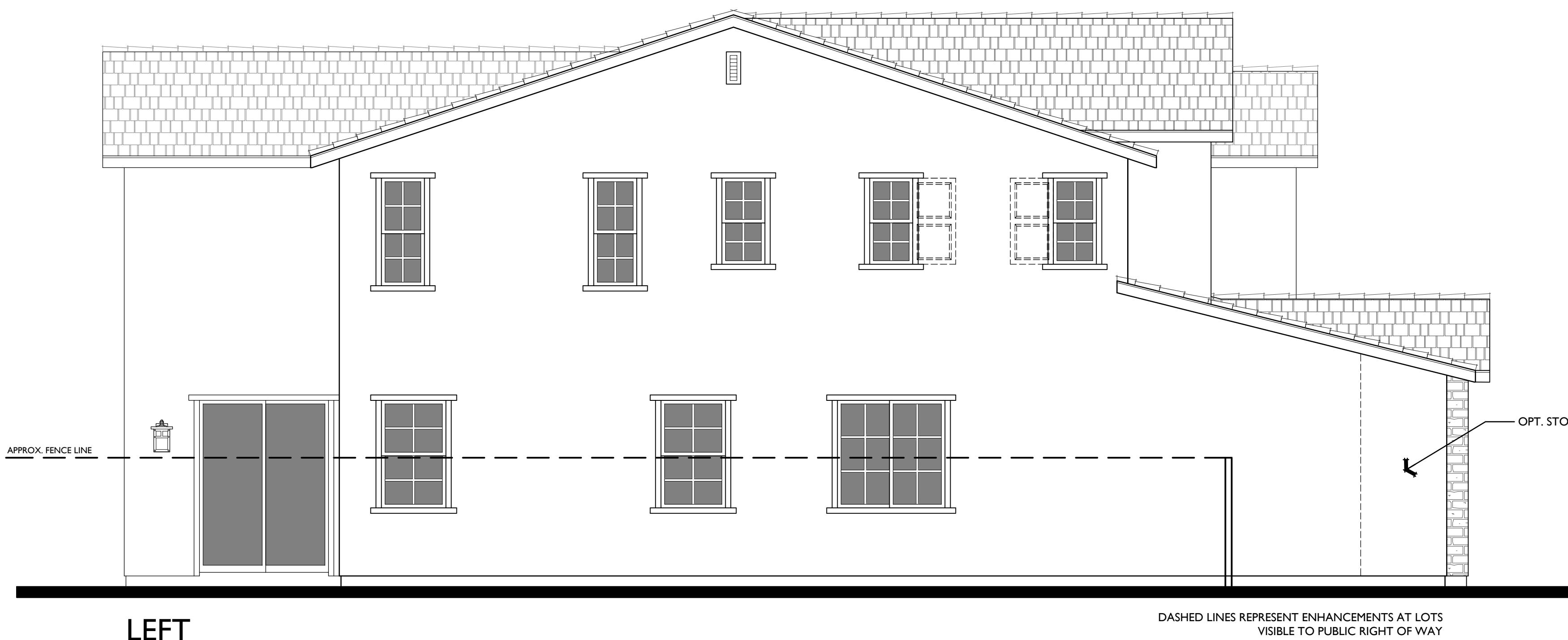
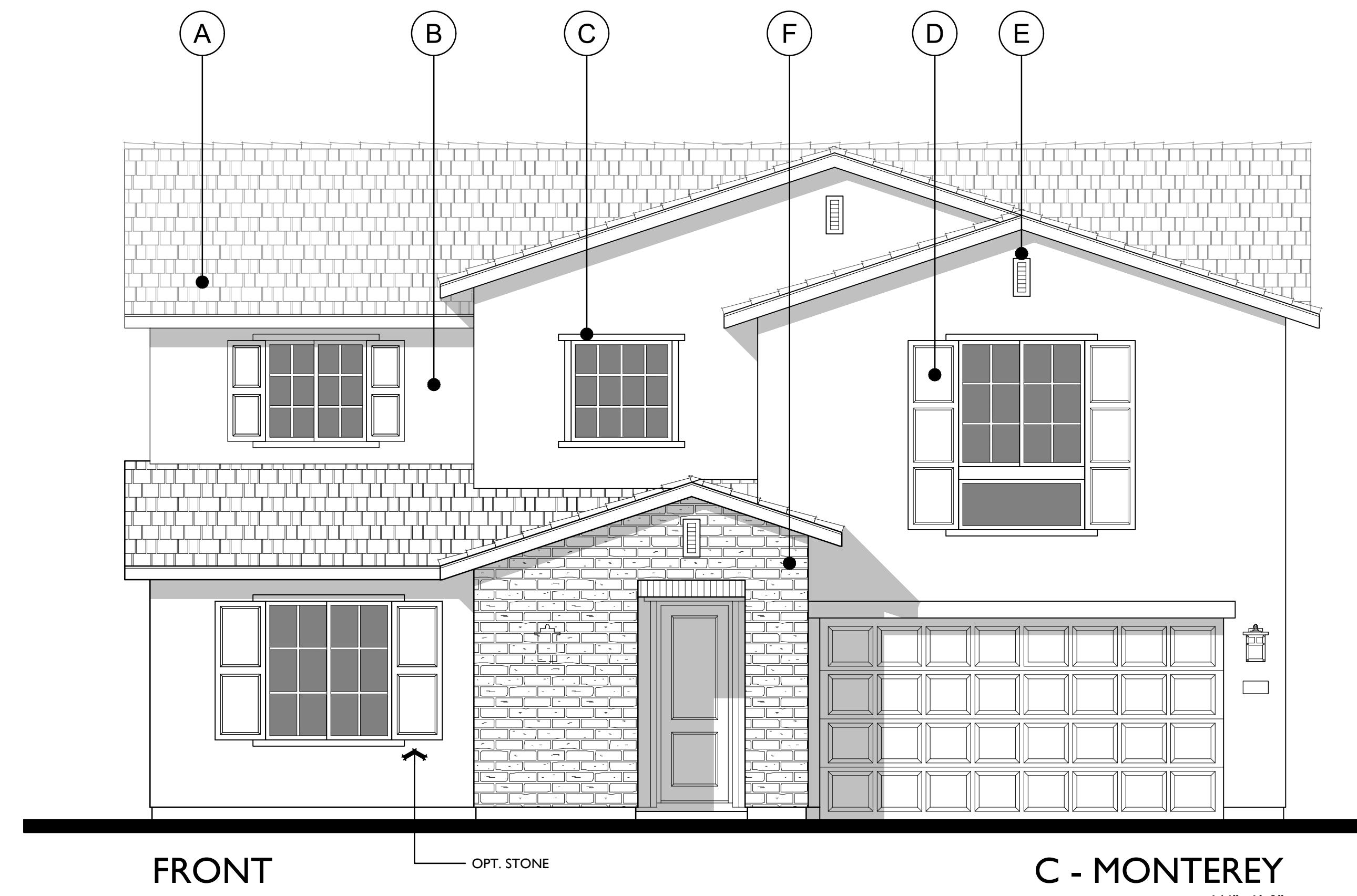
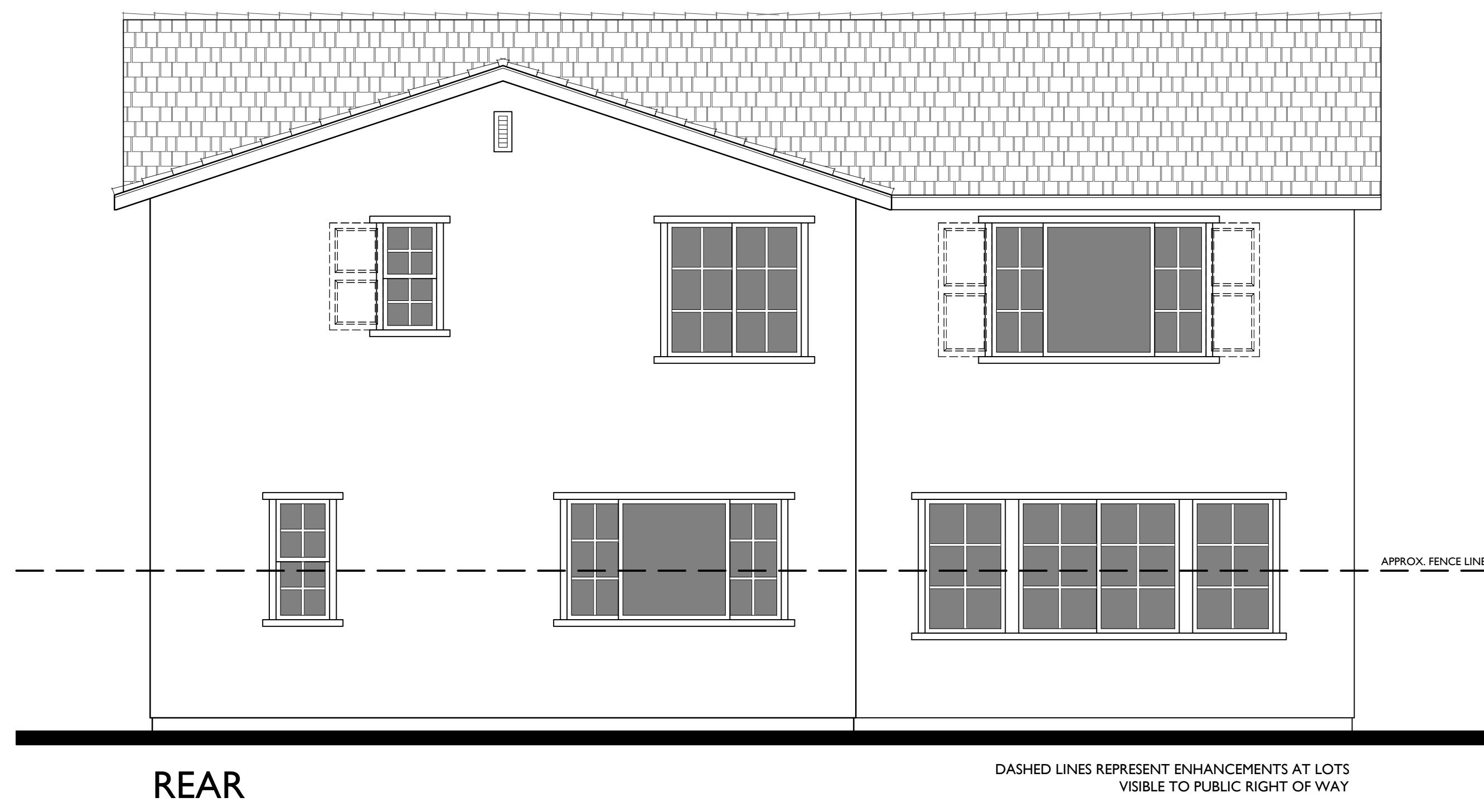
**ROOF PLAN**  
A

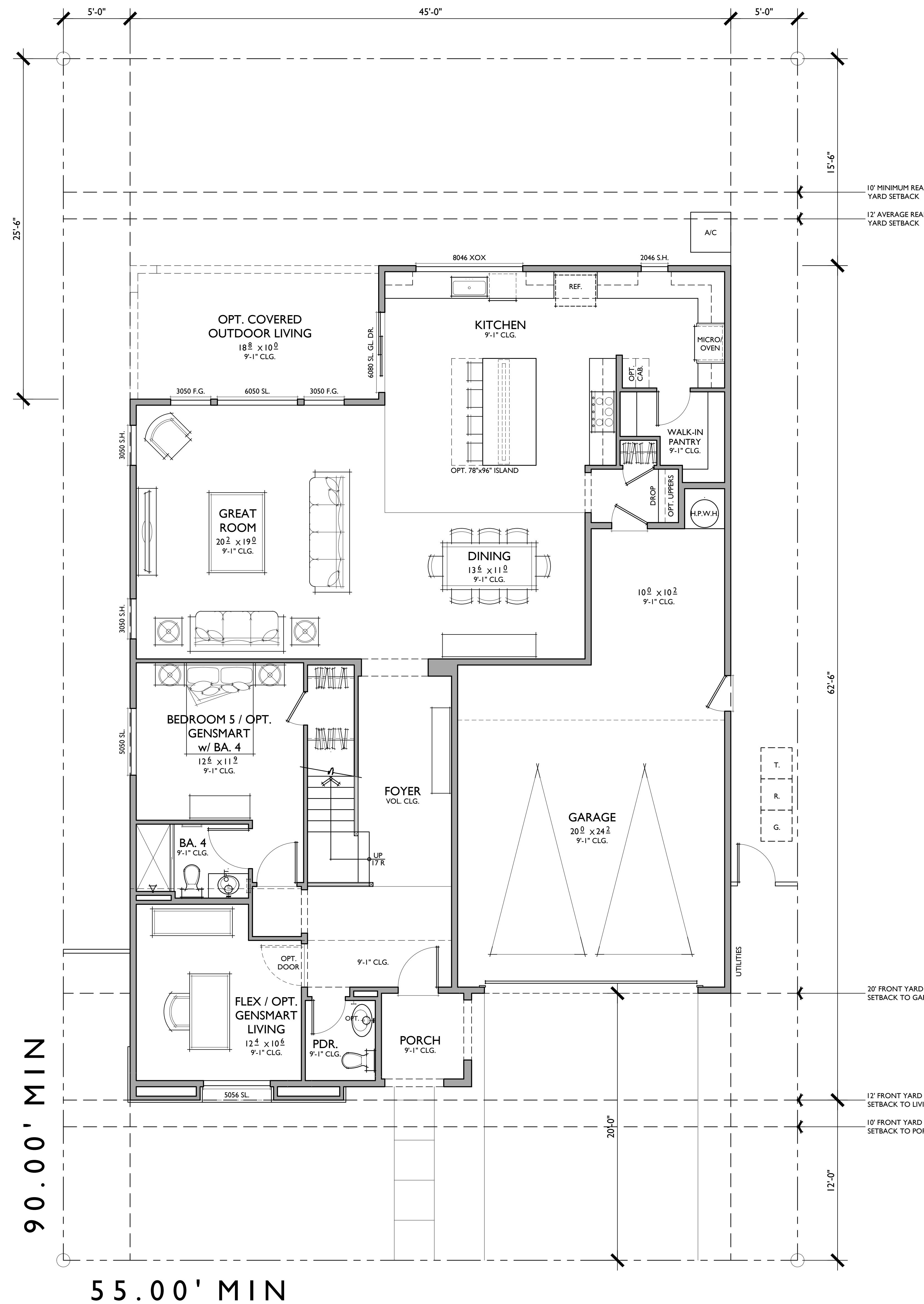
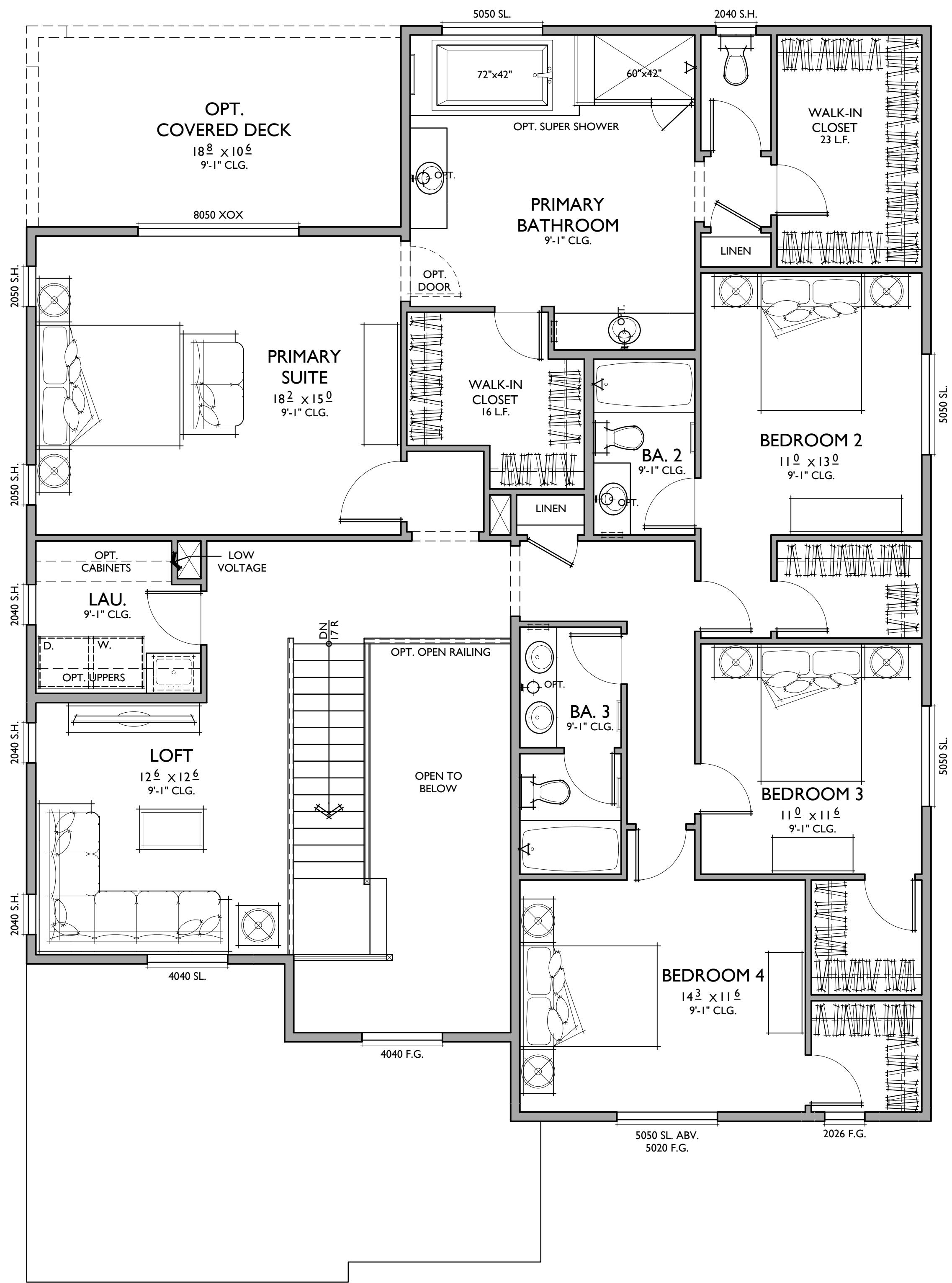
PITCH: 4:12 U.N.O.  
RAKE: TIGHT  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE



FLOOR AREA TABLE	
1ST FLOOR	1,779 SQ. FT.
2ND FLOOR	1,905 SQ. FT.
<b>TOTAL LIVING</b>	<b>3,684 SQ. FT.</b>
GARAGE	620 SQ. FT.
COVERED OUTDOOR LIVING	186 SQ. FT.
PORCH	58 SQ. FT.

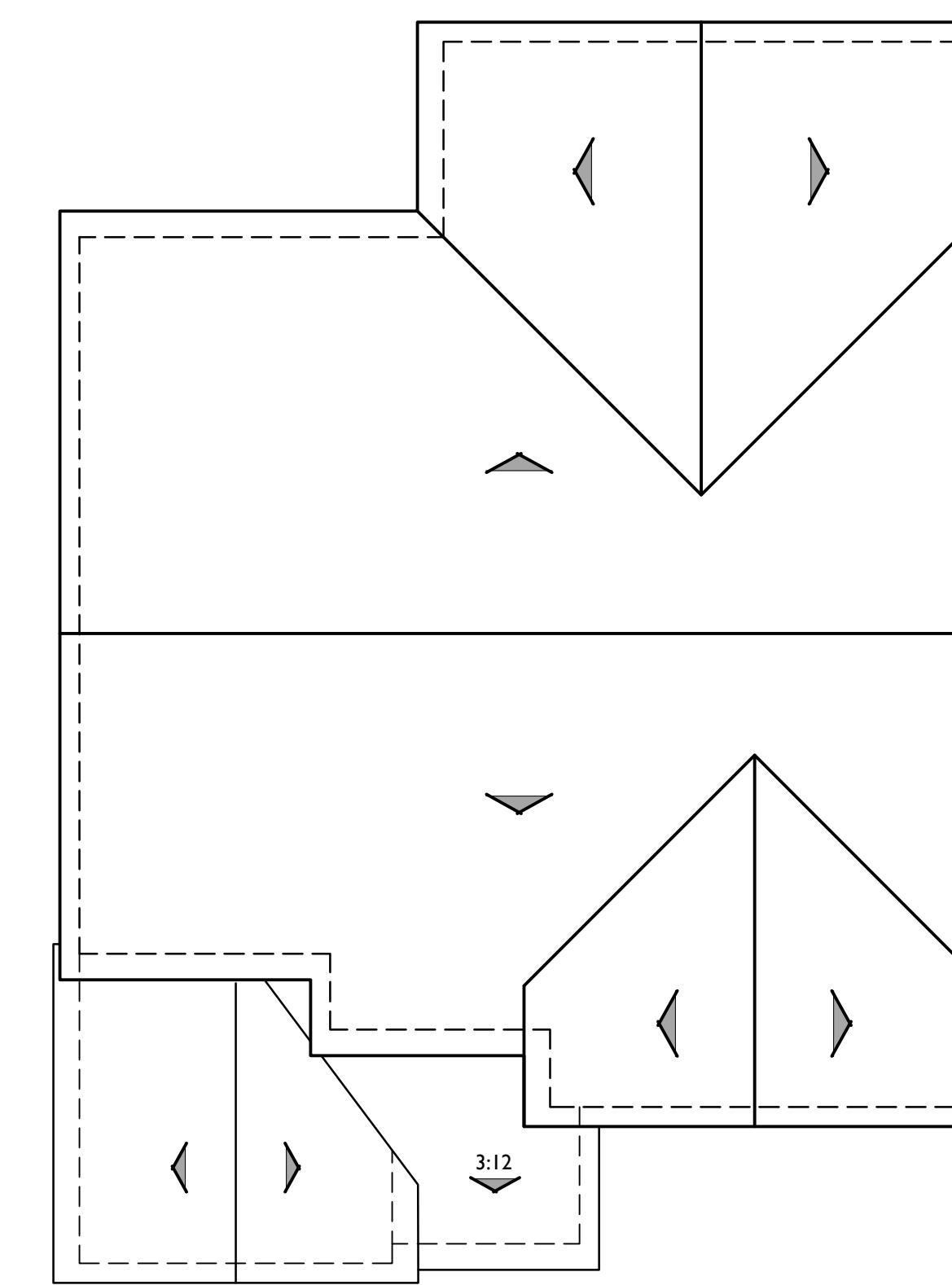
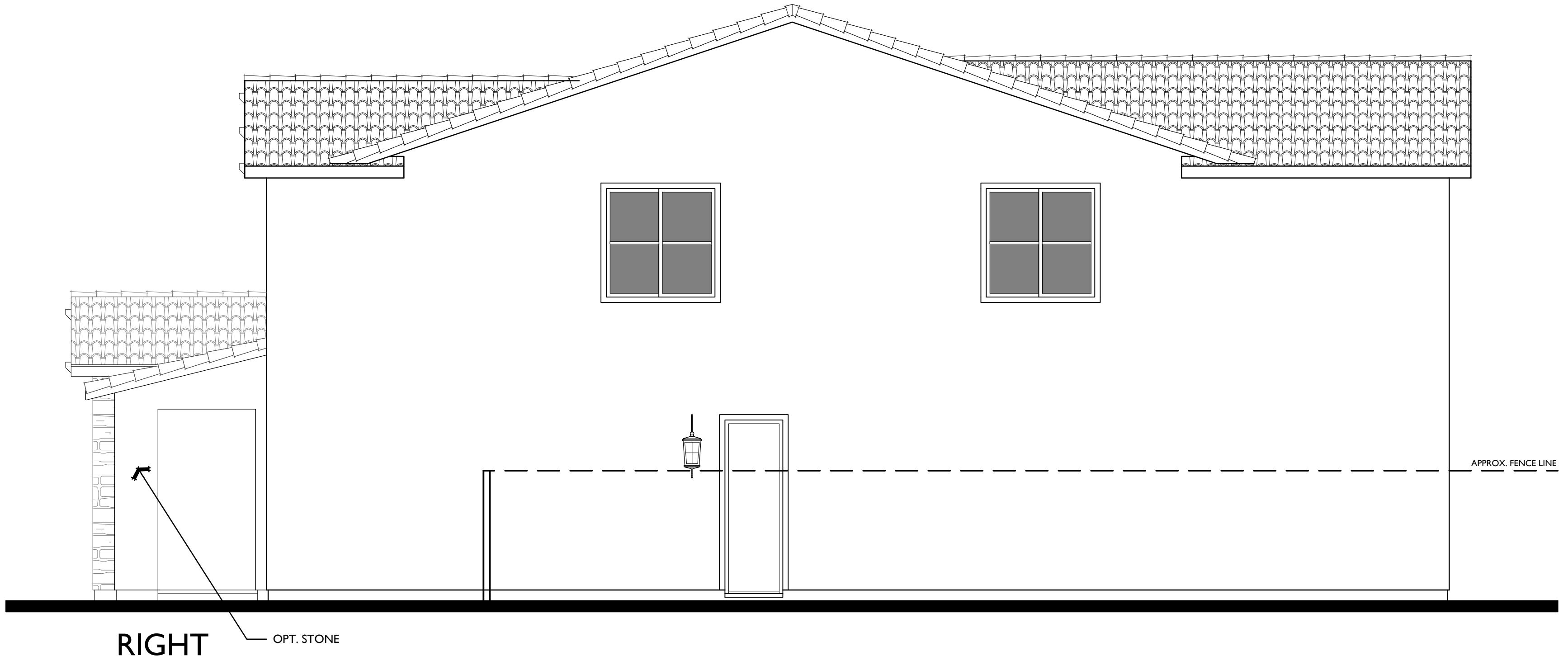
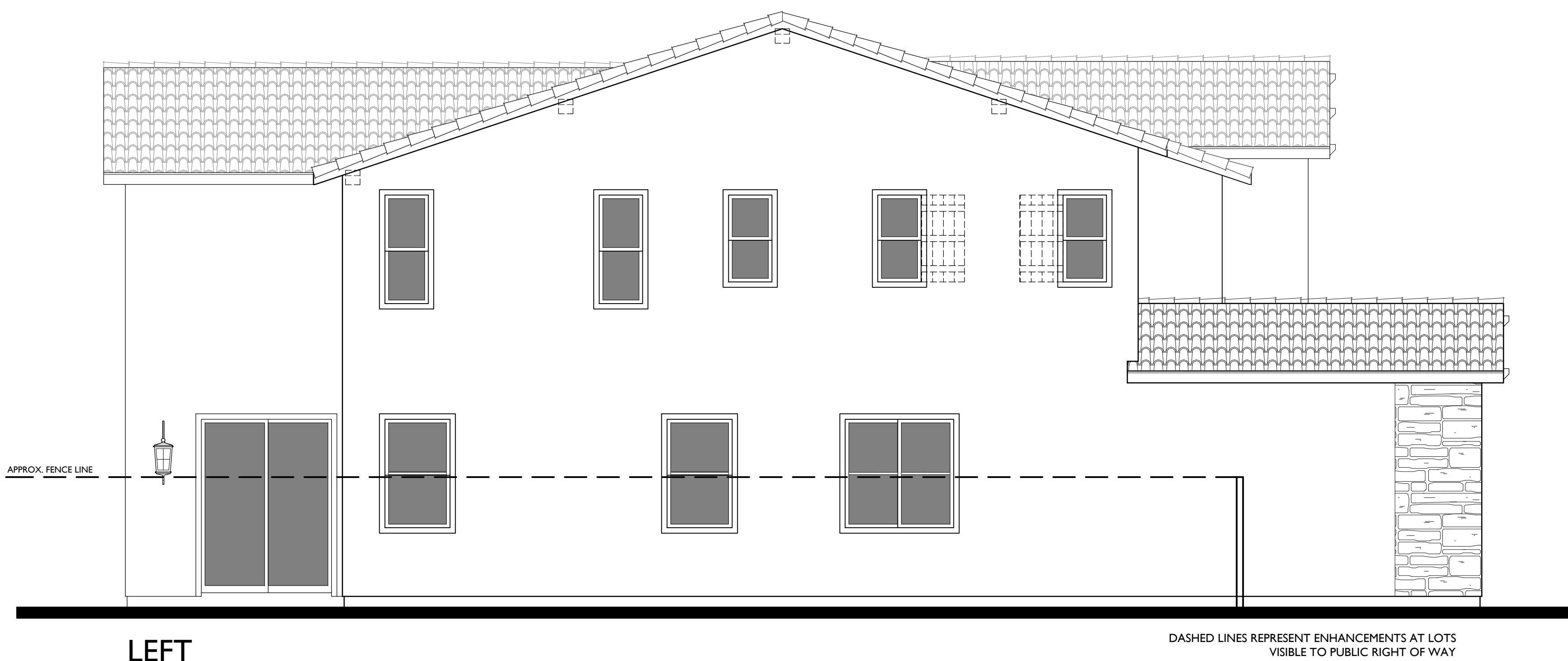
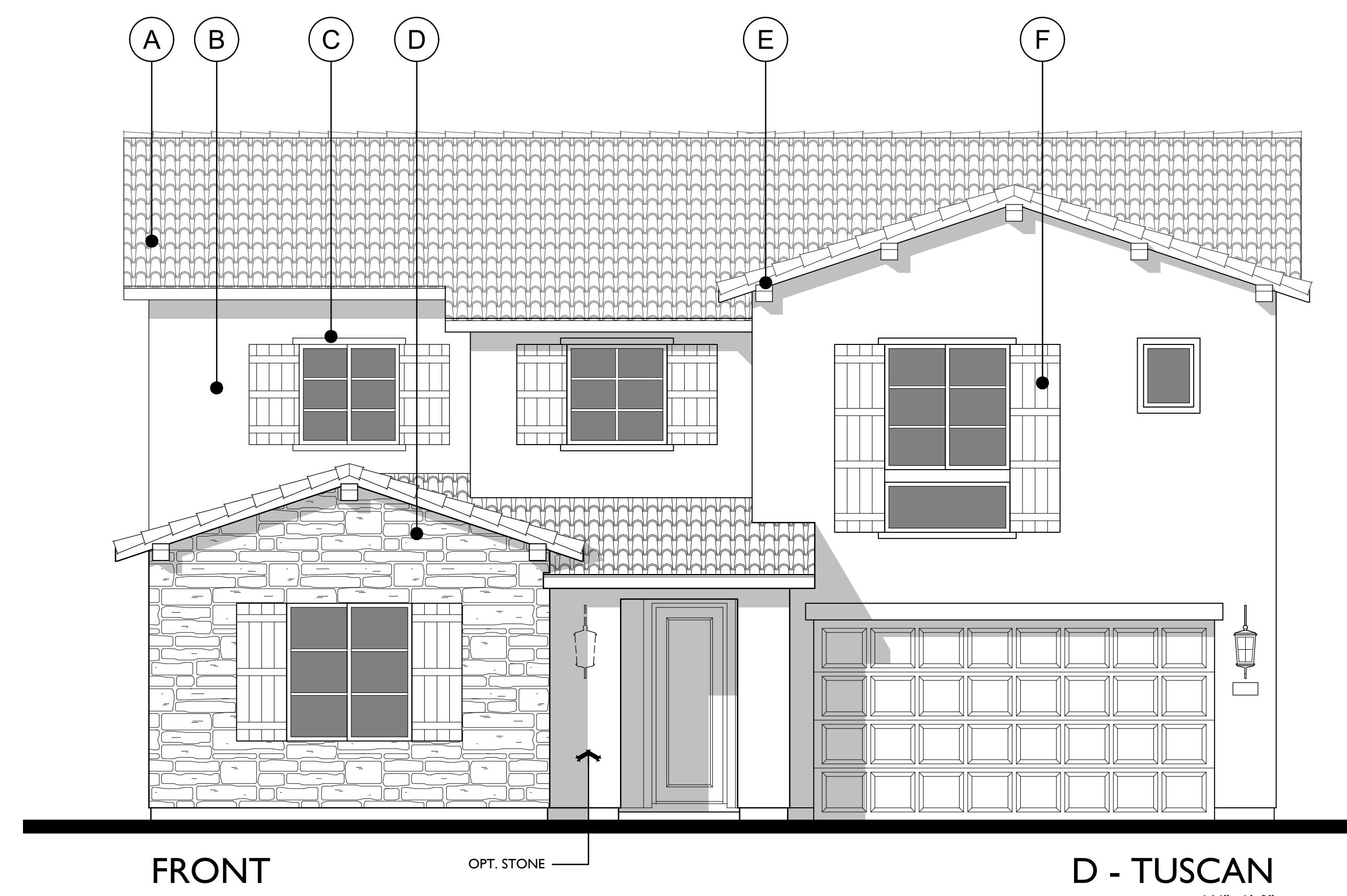
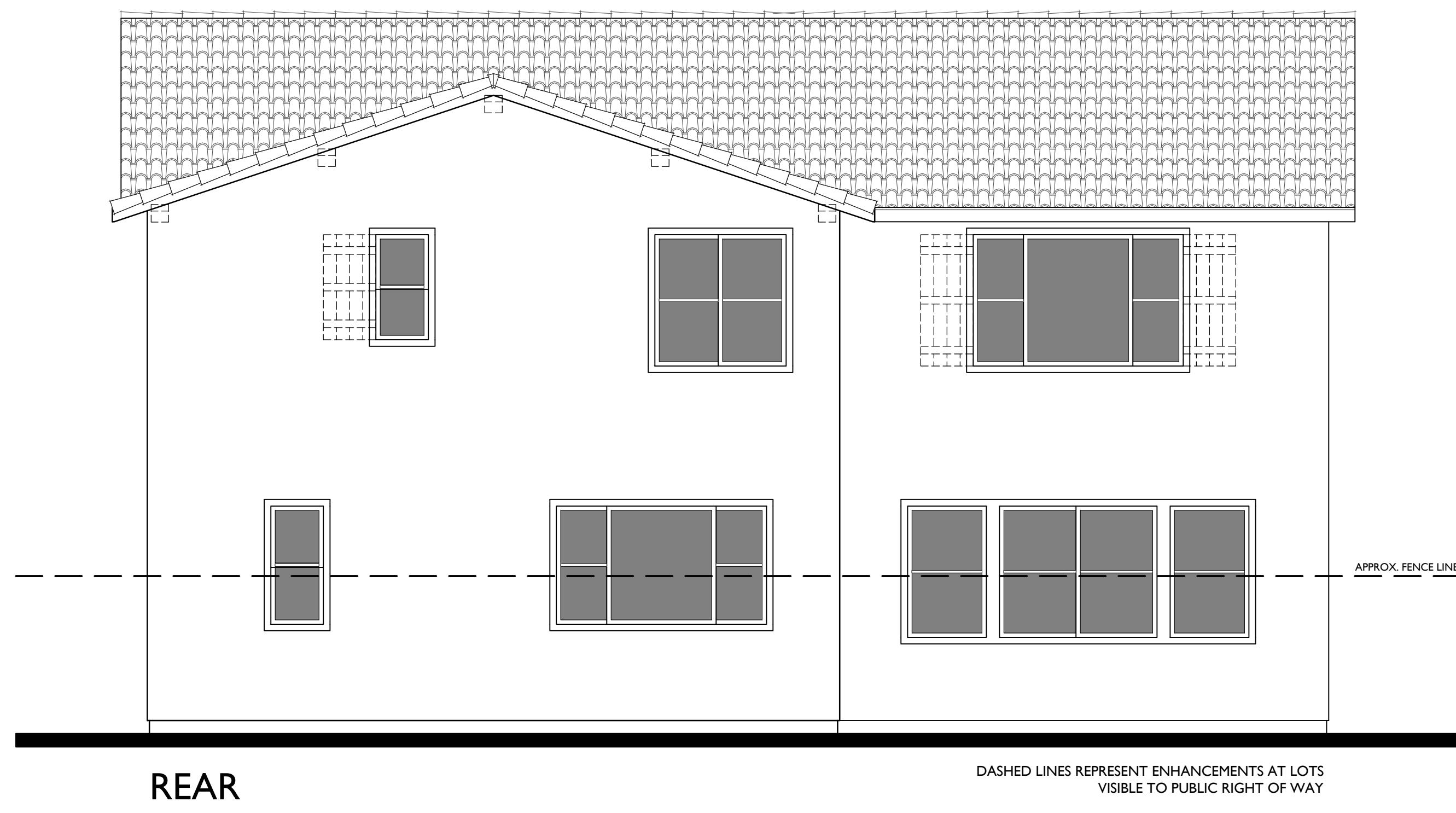
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

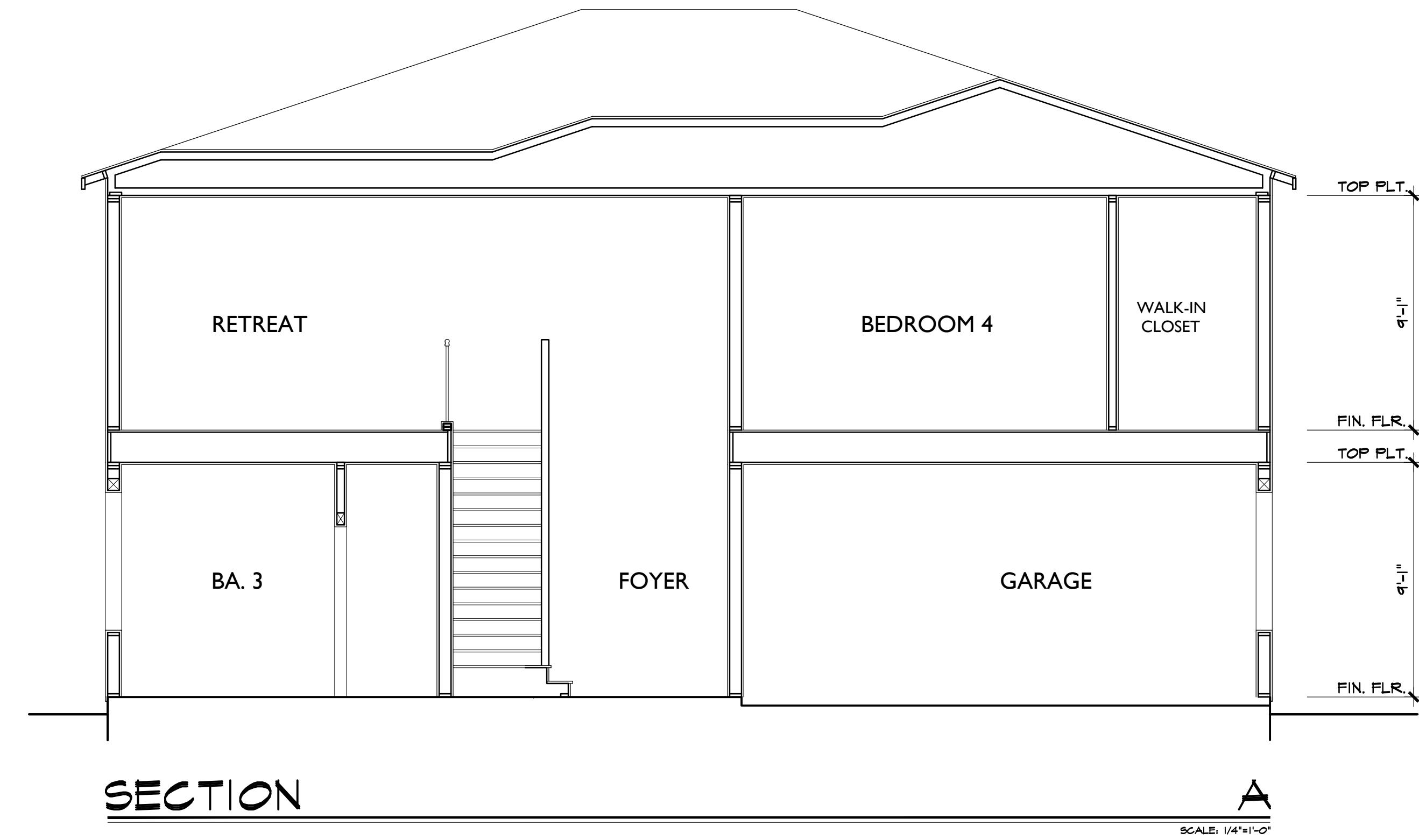
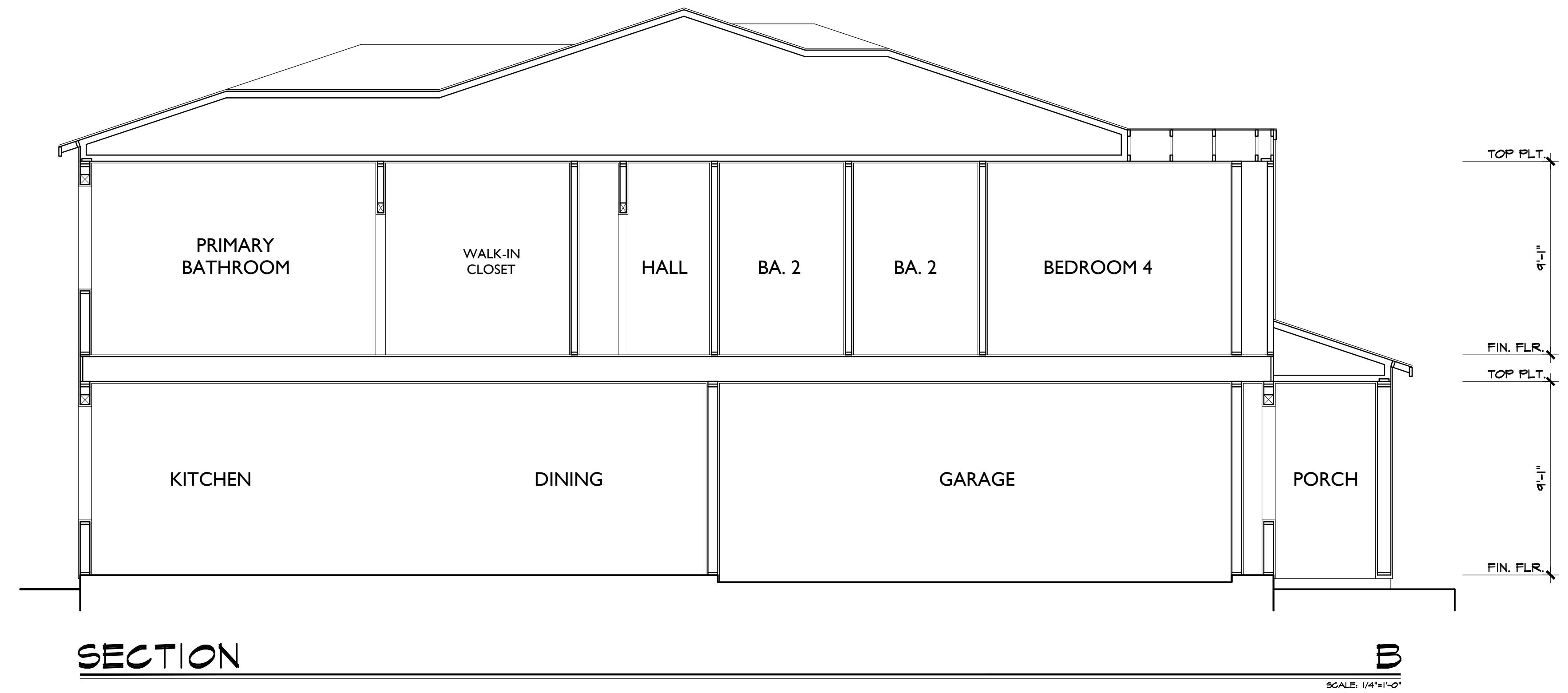


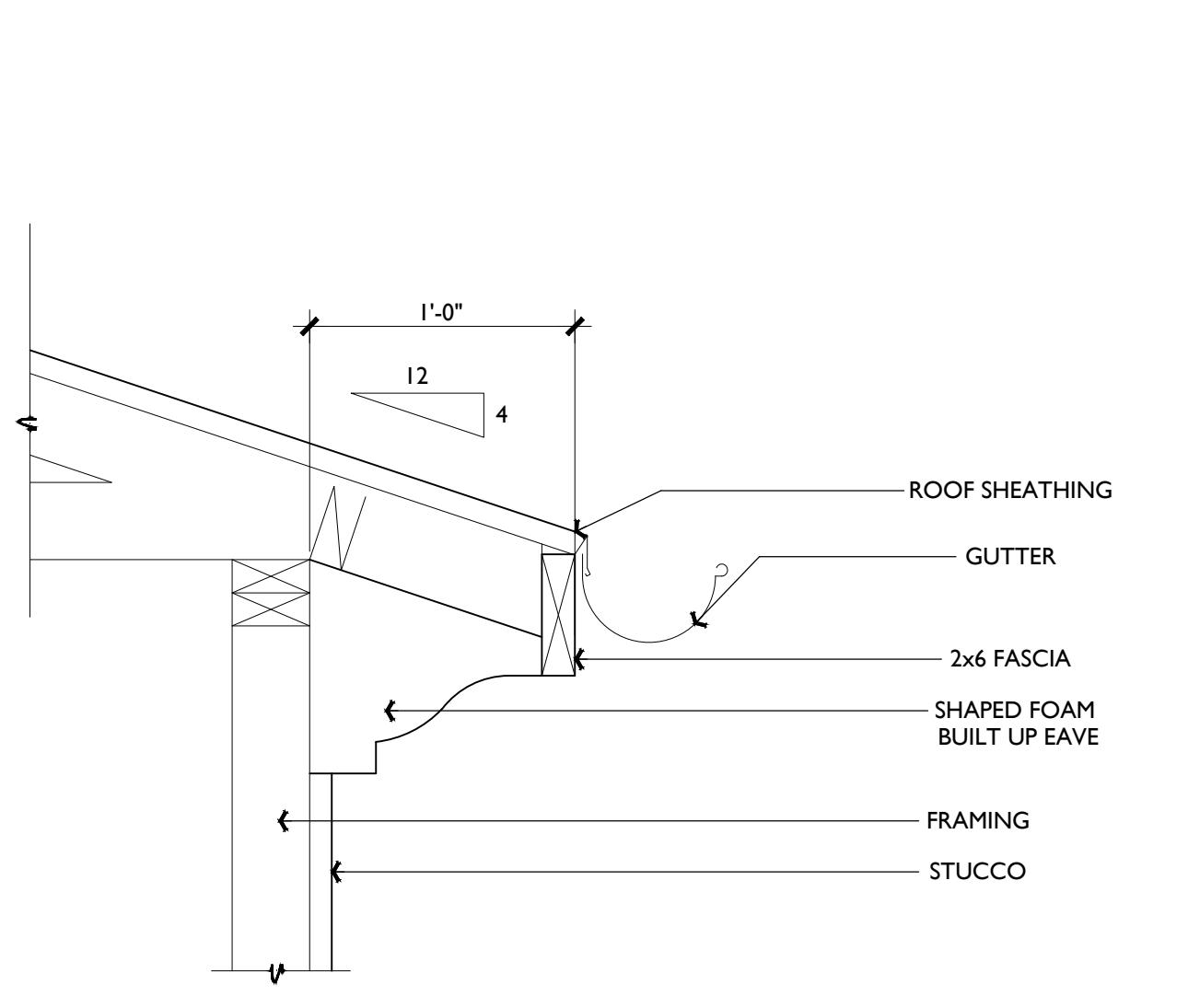
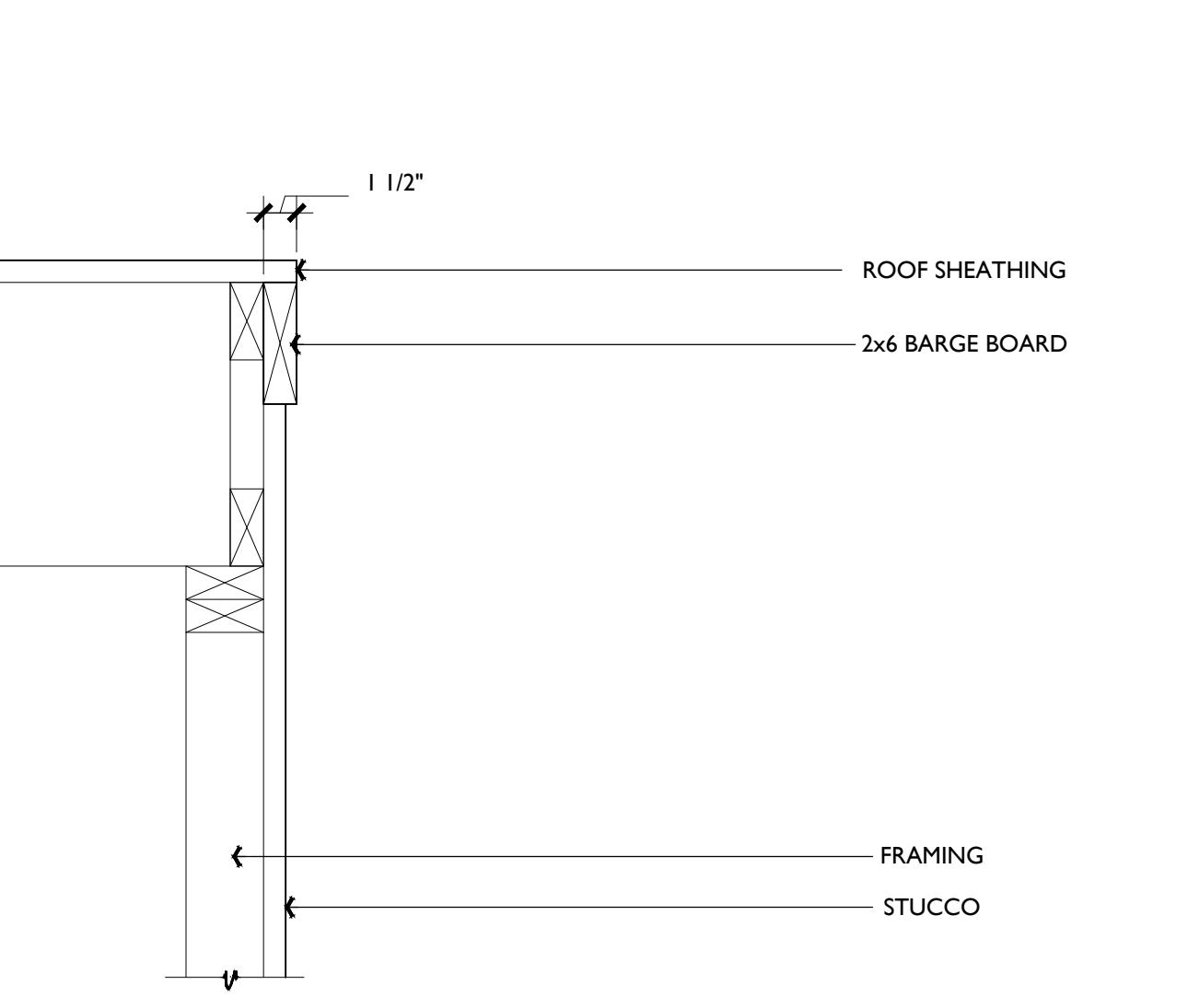
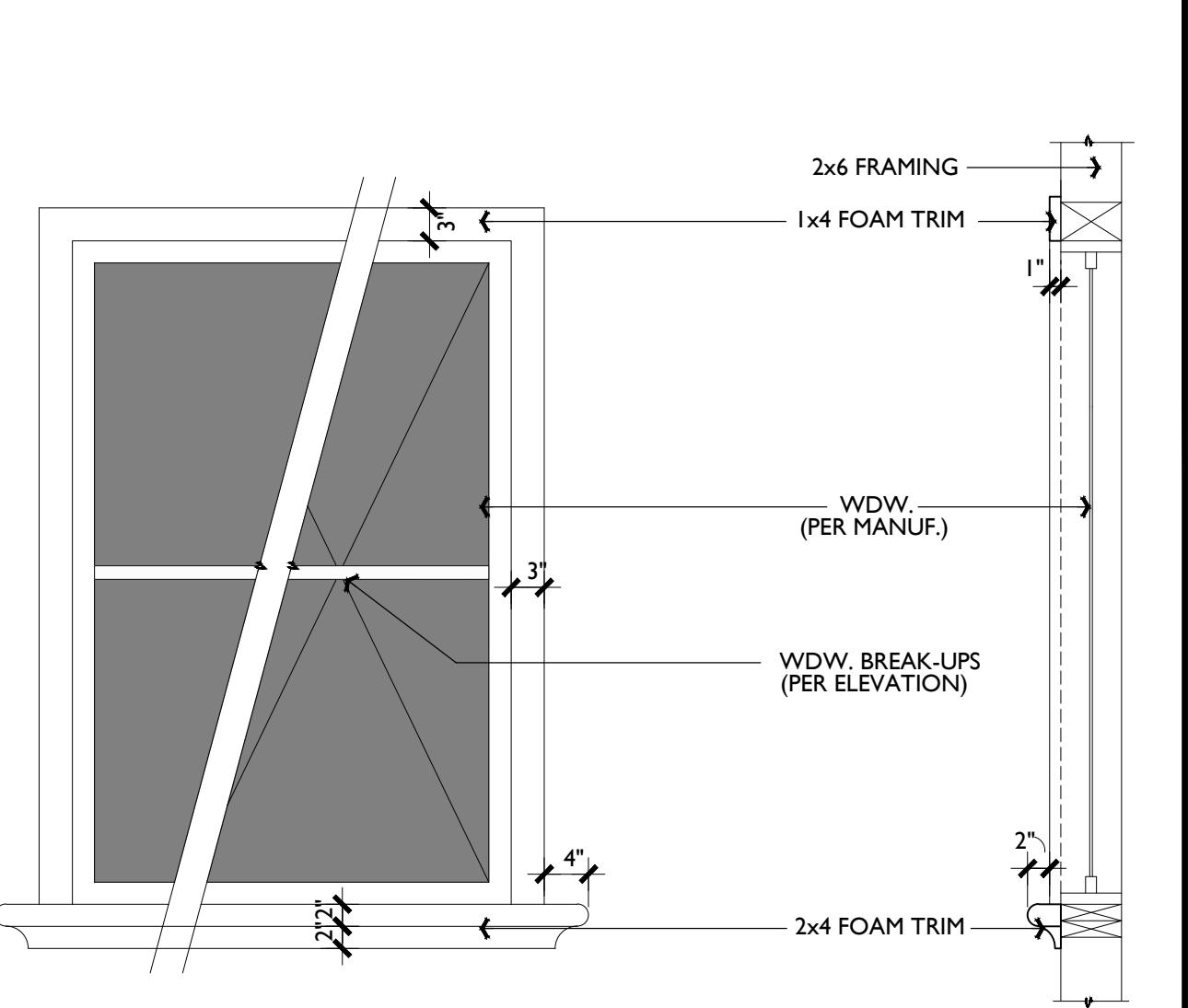
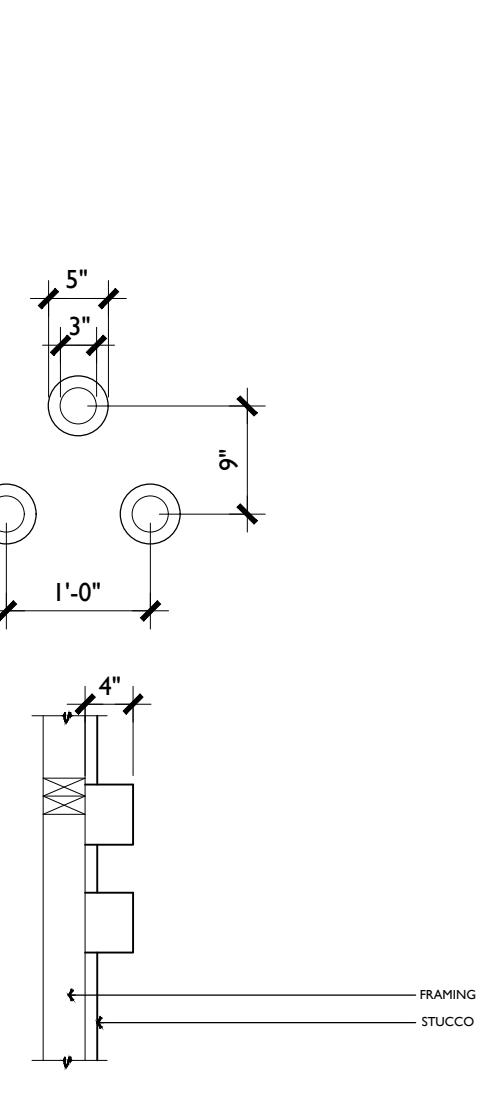
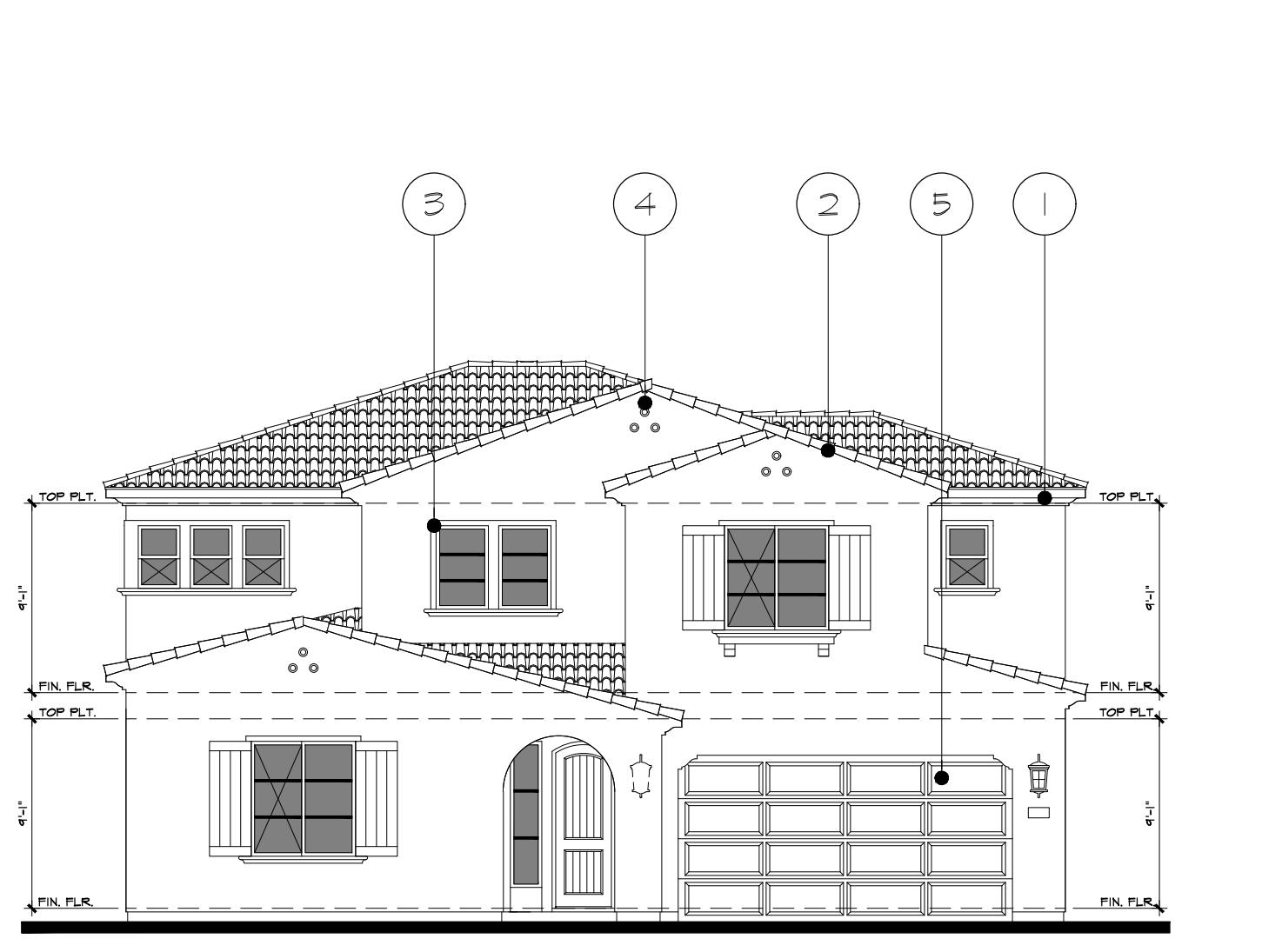
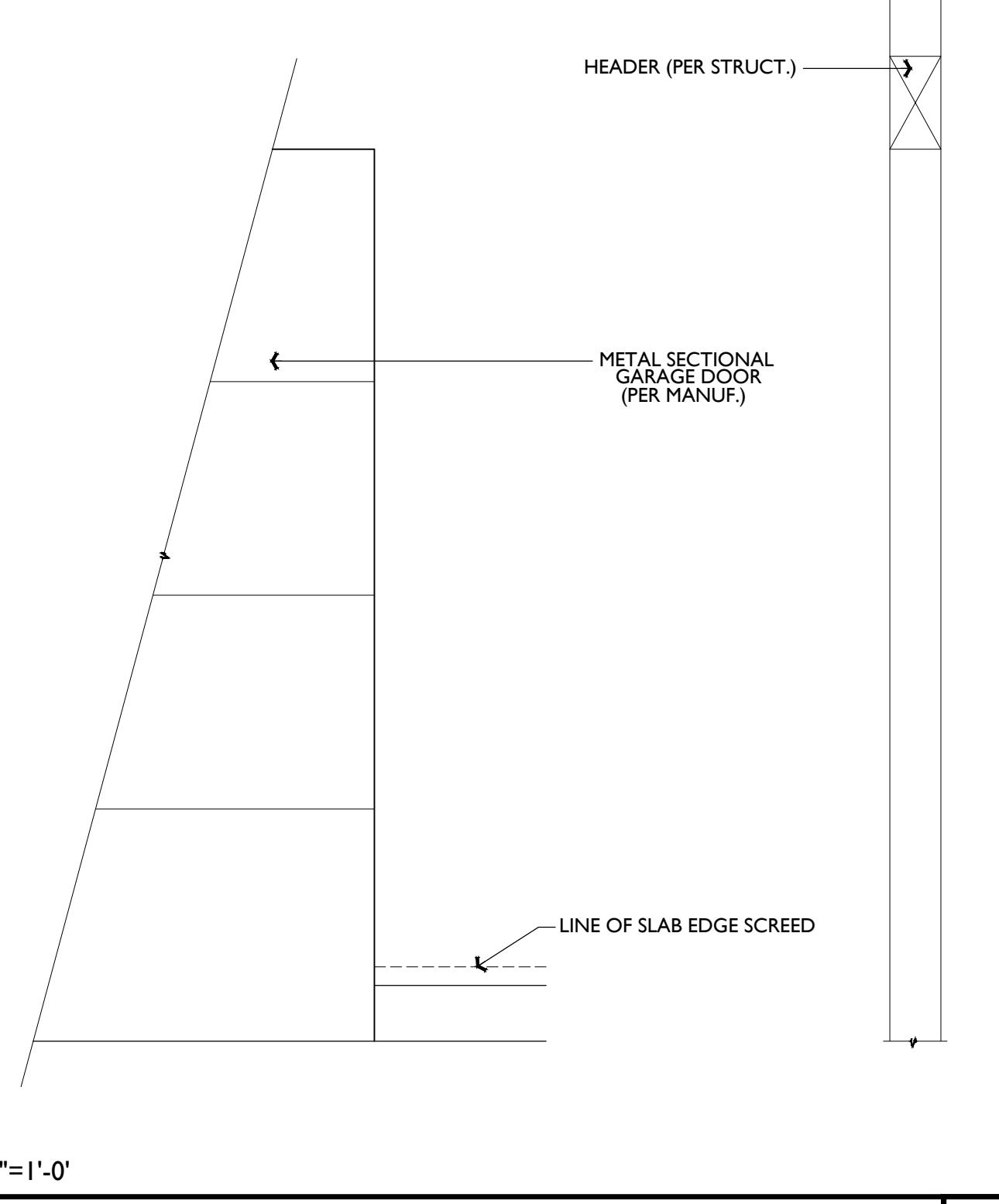


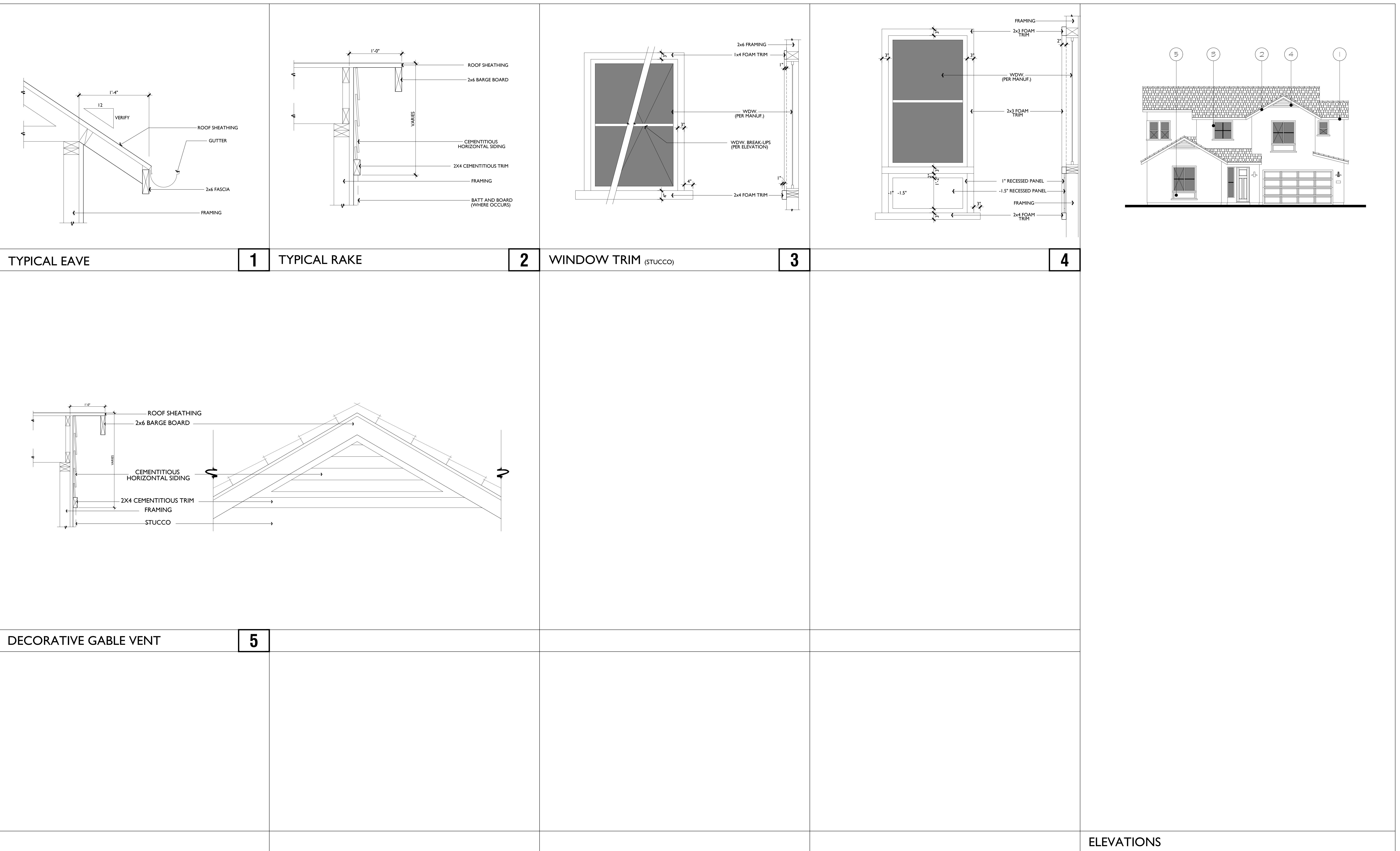
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PORCH	47 SQ. FT.

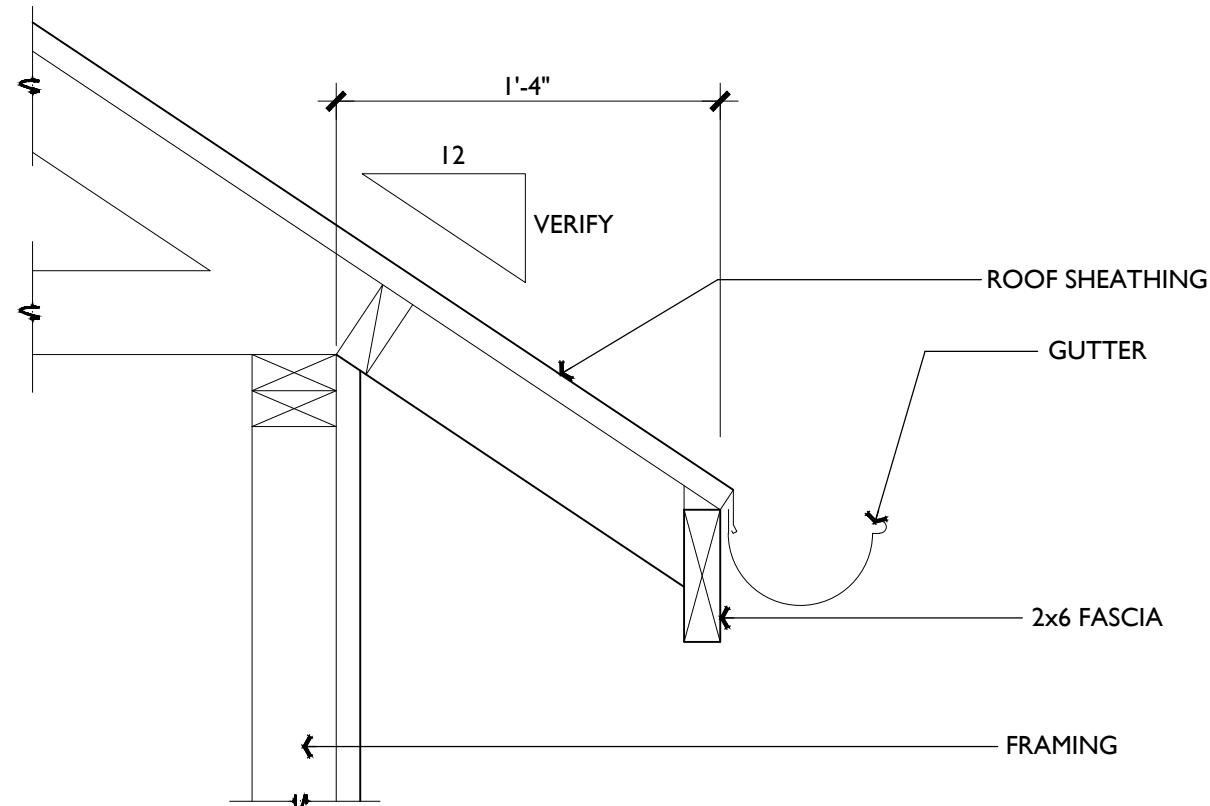
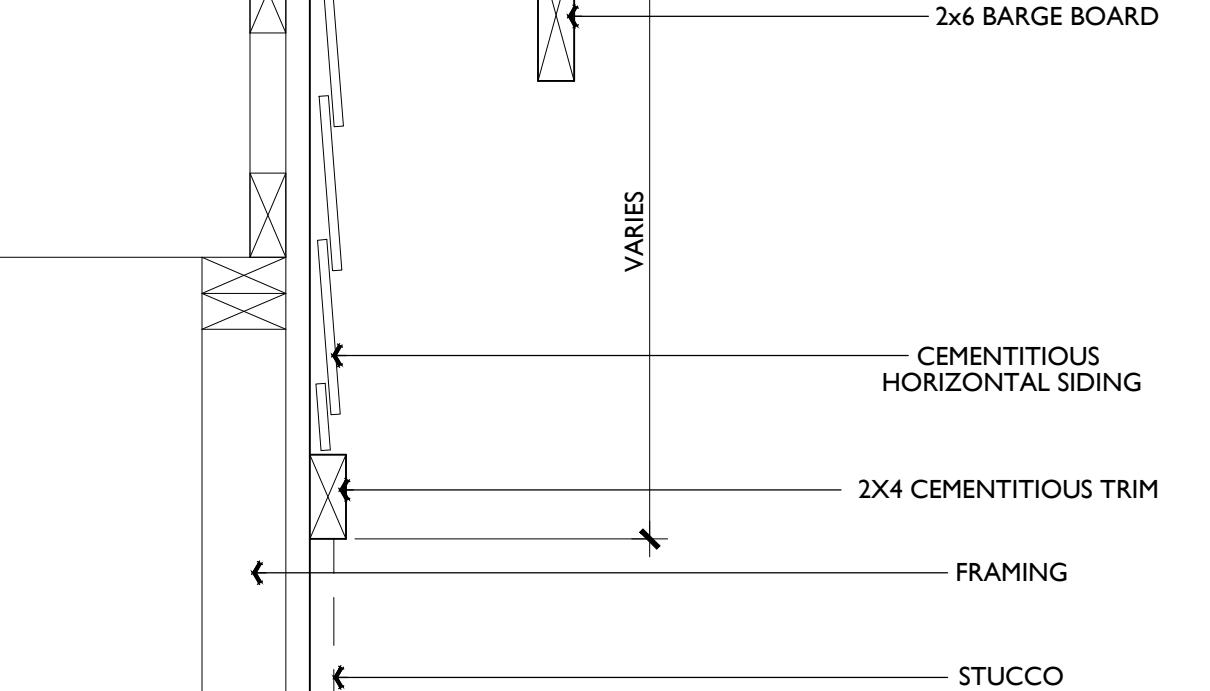
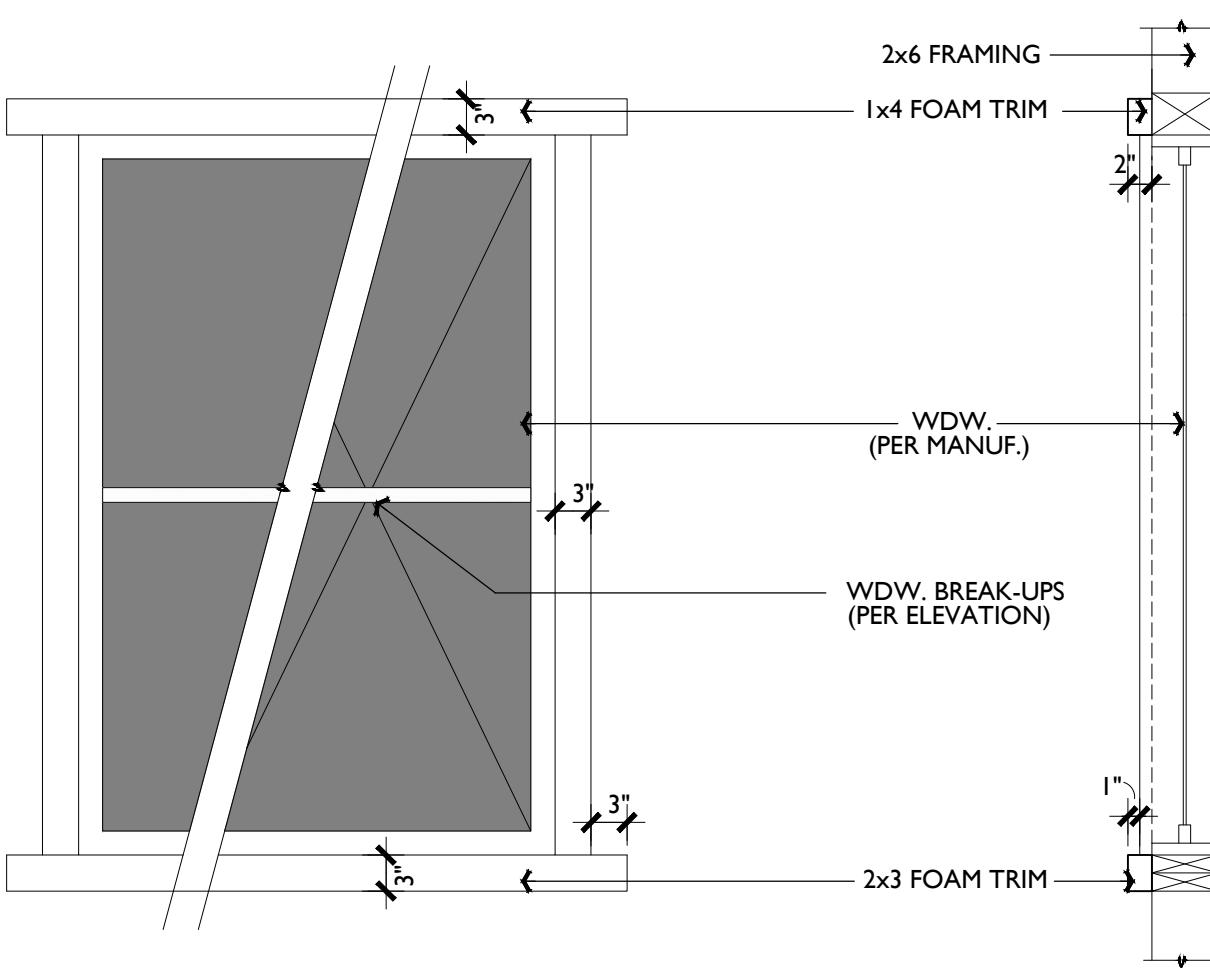
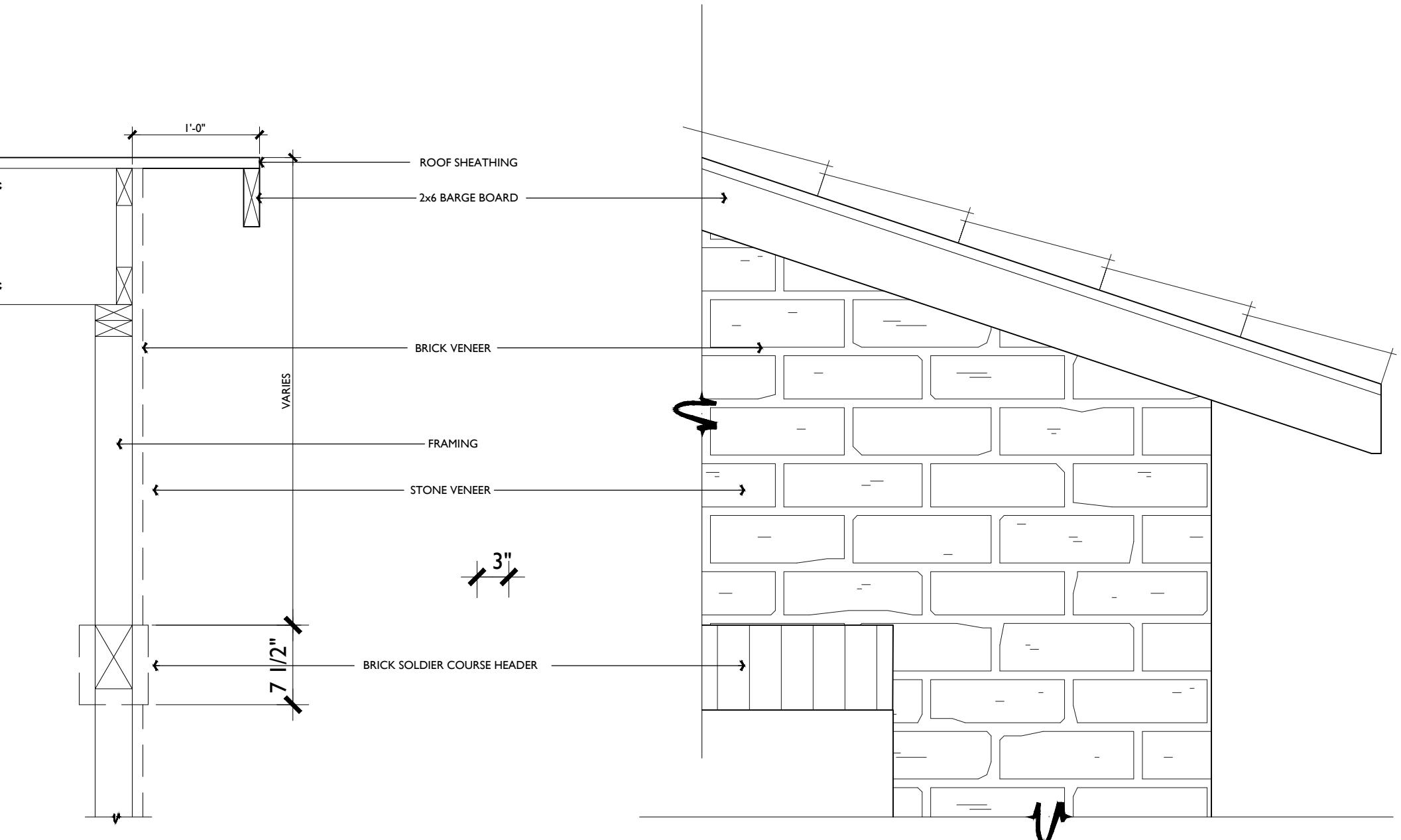
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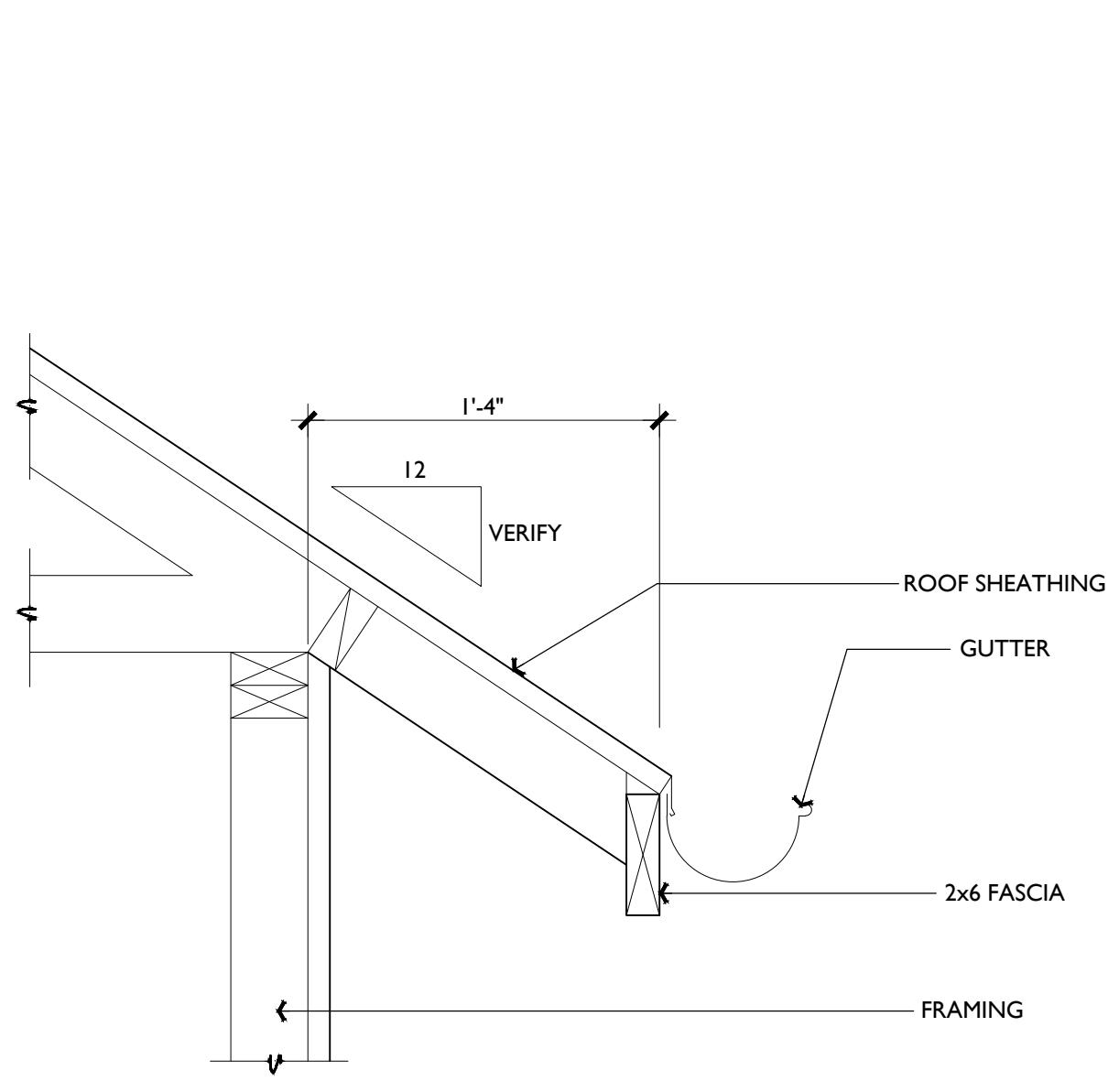
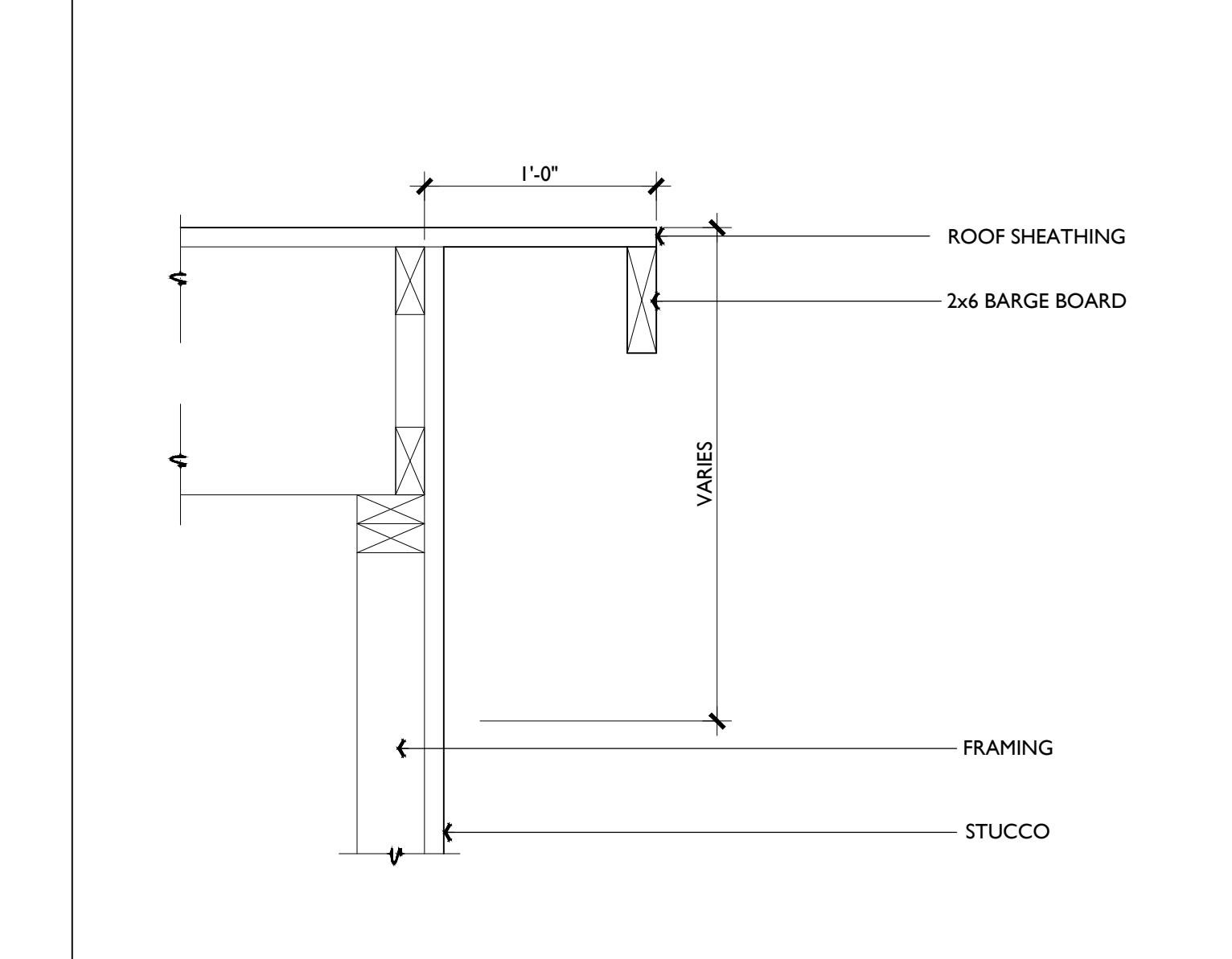
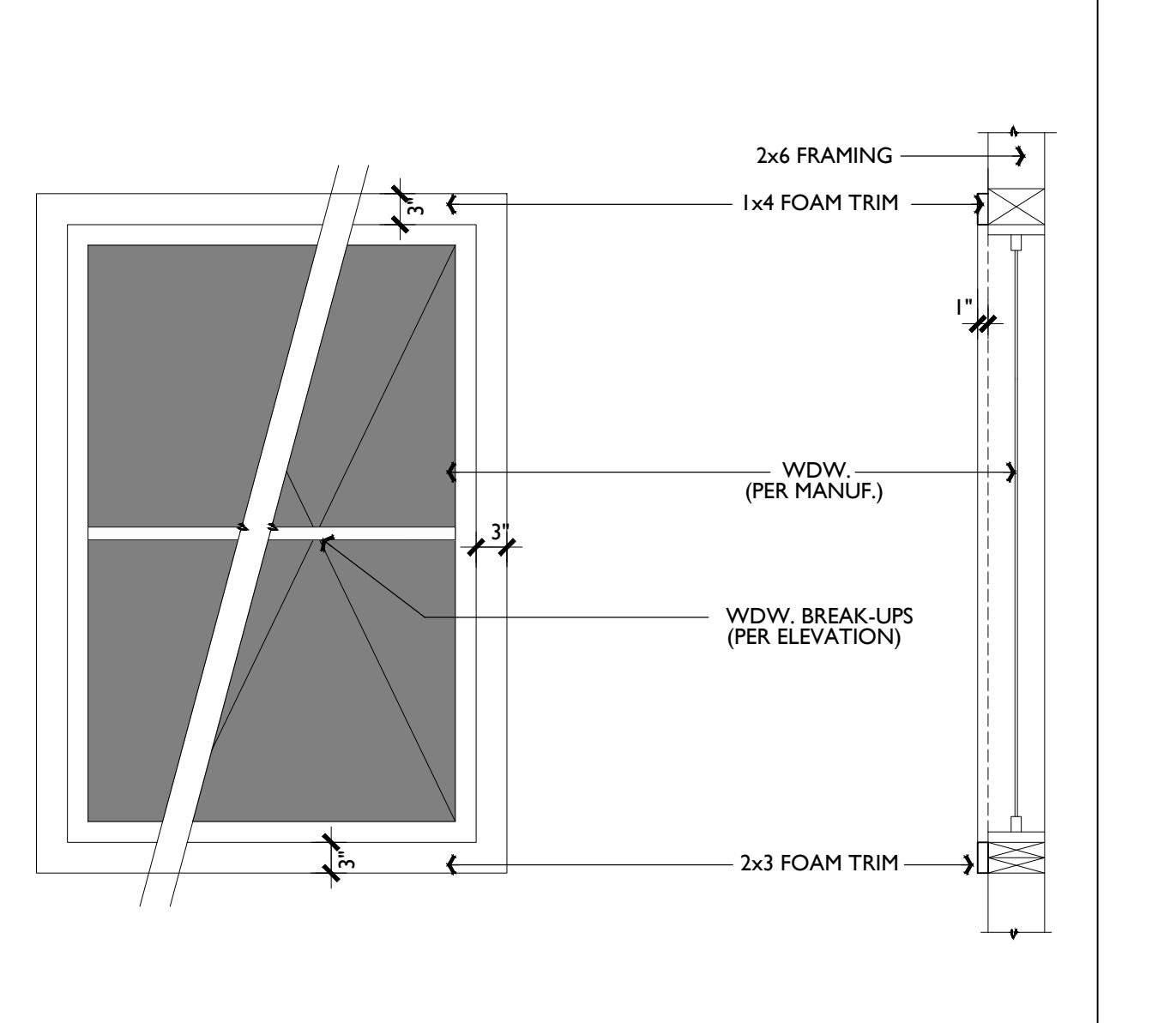
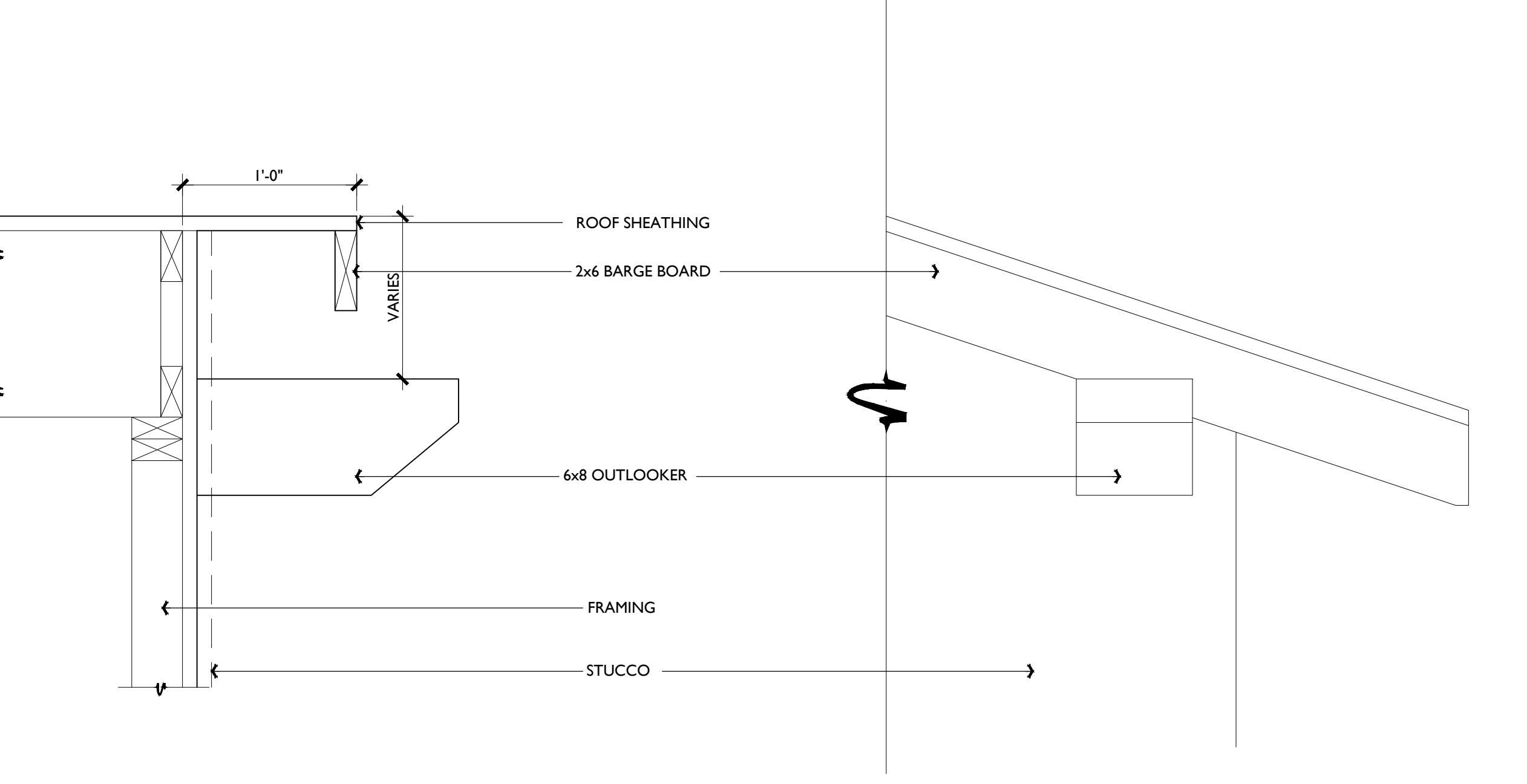


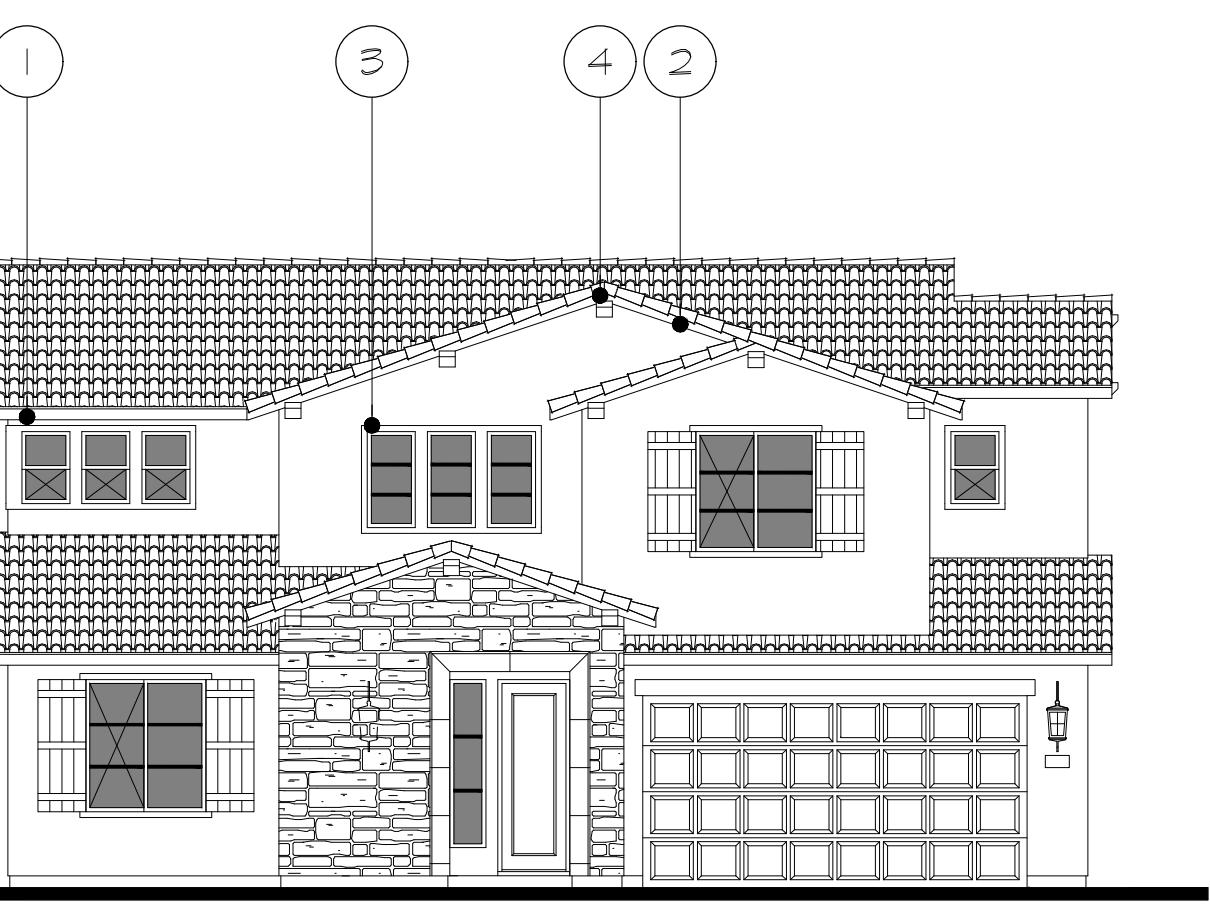
				
TYPICAL EAVE	1 TYPICAL RAKE	2 WINDOW TRIM (STUCCO)	3 CLAY PIPES	4
				
GARAGE DOOR	5			
				ELEVATIONS



			
TYPICAL EAVE	1 TYPICAL RAKE	2 WINDOW TRIM (STUCCO)	3
	4		
SOFFIT OPENING @ BRICK VENEER			
			ELEVATIONS



			
TYPICAL EAVE	1 TYPICAL RAKE	2 WINDOW TRIM (STUCCO)	3
			
6x8 OUTLOOKER	4		
			ELEVATIONS



## ATTACHMENT "C"



December 10, 2024

Zoe Meredith, Planning Manager  
Monet Boyd, Assistant Planner  
City of Antioch – Planning Department  
200 H Street  
Antioch, CA 94531

RE: Creekside/Vineyards at Sand Creek – Tri Pointe Homes

Ms. Meredith & Ms. Boyd,

Below is a brief description of our proposed floor plans and elevations for the Creekside/Vineyards at Sand Creek residential project by Tri Pointe Homes. The project consists of 50x90 and 55x90 lots. The architectural program for the 50'x90' lots includes four (4) floor plans and the architectural program for the 55'x90' lots includes three (3) floor plans - totaling seven (7) unique plan types that meet a wide range of buyer needs.

The Creekside project will also offer four (4) distinct, but complimentary, architectural themes throughout the project. Per the project's design guidelines, we propose to use traditional California/Vineyard styles which include Spanish, American Farmhouse, Monterey and Tuscan. Each floor plan has three of the four themes which are mixed throughout the two series. Within each theme, three (3) color schemes are provided. This allows for variation of architecture, colors, and materials throughout the project.

For the architecture, we distinguish the styles within the plans by using different types of details, materials, and color palettes. Each architectural theme presents a specific kind of garage door, window mullions, shutters, and trim profiles that all fit in character with its style.

Please refer to the attached design review drawings and color books for more information.

The following sheet includes a breakdown of floor plan square footages per series, along with a brief description of the bedroom and bathroom count.

John Sekigahama  
Project Manager  
Tri Pointe Homes

**50'x90' Program:**

Plan 1 (2,395 SF) – 2 Story Home (Nested 2<sup>nd</sup> Floor) with 3 Bedroom, 2 Bath Standard  
- Options to a 4 Bedroom, 3 Bath

Plan 2 (2,569 SF) – 2 Story home with 4 Bedroom, 3 Bath Standard  
- Bedroom Suite w/ Power Bathroom Option  
- Bedroom 5 Option

Plan 3 (2,842 SF) – 2 Story home with 4 Bedroom, 3.5 Bath Standard  
- GenSmart Suite Option  
- Bedroom 5 Option

Plan 4 (3,140 S.F.) – 2 Story home with 4 Bedroom, 3.5 Bath Standard  
- GenSmart Suite Option  
- Bedroom 5 Option  
- Formal Dining Room Option

**55'x90' Program:**

Plan 1 (3,238 SF) – 2 Story Home with 4 Bedroom, 3 Bath Standard

Plan 2 (3,477 SF) – 2 Story home with 5 Bedroom, 3.5 Bath Standard

Plan 3 (3,684 SF) – 2 Story home with 5 Bedroom, 4.5 Bath Standard  
- GenSmart Suite Option

